

TO: PLANHOLDERS
ADDENDUM NUMBER ONE

DATE ISSUED: November 17, 2015

RE: Jefferson County Courthouse
Fire Code Improvements and Lighting Project
411 4th Street
Fairbury, Nebraska

BERGGREN ARCHITECTS
PROJECT NO: 201302-302
NUMBER OF PAGES (Including Attachments): SIX (6)

The Architect issues this addendum to all plan holders of record. This addendum amends only those portions of the plans and specifications described below and all other portions remain unchanged and in full effect.

The Pre-Bid Walkthrough Meeting occurred on November 13, 2015 at the Jefferson County Courthouse. Attached to this Addendum are the Meeting Notes, Sign in Sheet and Supplemental Drawings associated with that meeting.

CHANGES TO THE SPECIFICATIONS

NONE

CHANGES TO THE DRAWINGS

ITEM NO. 1: SHEET AD-101

Supplemental Drawing SD-01

A sink has been identified as needing to be removed and reinstalled in order to provide I.T. conduit passage from the new Server Room in the basement to the other floors of the building. SD-01 shows the location of that sink.

ITEM NO. 2: SHEET A-101

Supplemental Drawing SD-02

The relocated sink and reconfigured I.T. conduit chase are shown on this drawing.

ITEM NO. 3: SHEET A-301, Note 1

Calls for the custom millwork to be manufactured by Ratigan-Schottler Manufacturing as per Specification Section 12 6700. Section 12 6700, Pews and Benches, is not part of the project and therefore was not included in the specifications. This section should not have been referenced in this note.

END OF ADDENDUM ONE



BERGGREN ARCHITECTS
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JEFFERSON COUNTY COURTHOUSE
FIRE CODE IMPROVEMENTS AND LIGHTING PROJECT
Pre-Bid Meeting & Walk-through – Meeting Minutes
November 13, 2015 @ 1:30 PM
Fairbury, NE

1. Questions were asked about coordination of construction times with the courthouse work schedules.
The courthouse has no specific schedule, all work will need to be coordinated with the Jefferson County Courthouse. The initial contact for coordination is Travis Arnold at (402) 729-6826. District and County Court schedules takes precedence over all construction work, the existing county courtroom might serve as a temporary alternative to the district courtroom.
2. Questions were asked in regards to work outside of regular courthouse operating hours and the security needs associated with those work times.
Construction can be accomplished outside of normal courthouse operating hours, Travis Arnold must be contacted in advance to coordinate time and locations of work to be performed. Travis will also inform the Law Enforcement Dispatcher of work being performed outside of normal courthouse operating hours. It was also mentioned that there is currently surveillance of much of the courthouse interior and exterior which is observed by the dispatch center.
3. Clarification for specific dates was requested.
Bid Proposals will be accepted until December 3, 2015 at 4:00PM local time. Bids will be publically read aloud at 10:30AM local time on December 8, 2015 during the County Board Meeting. Should a bidder not attend the bid opening, Wim Kersten will send emails with the results of the December 8th bid opening to everyone that has submitted a bid proposal.
4. It was asked if there are any specific beginning and end dates for construction.
There are no specific beginning and end dates, but there is an approximate start time of mid-January with an estimated 9 months to complete the project.
5. Removal of asbestos identified as being in the floor tile of Toilet 214 on sheet AD-102 will be completed by Bockmann Inc. before general construction begins. An Asbestos Survey of the Jefferson County Courthouse prepared by Bockmann Inc. was distributed to all attendees during the Pre-Bid Meeting.
6. The question was asked if there were any locations, offices within the courthouse that had priority when the project begins. There is no pre-determined location that has priority for beginning of construction. A schedule, as prepared by the contractor after the bid has been awarded will be reviewed by the owner, architect and contractor.



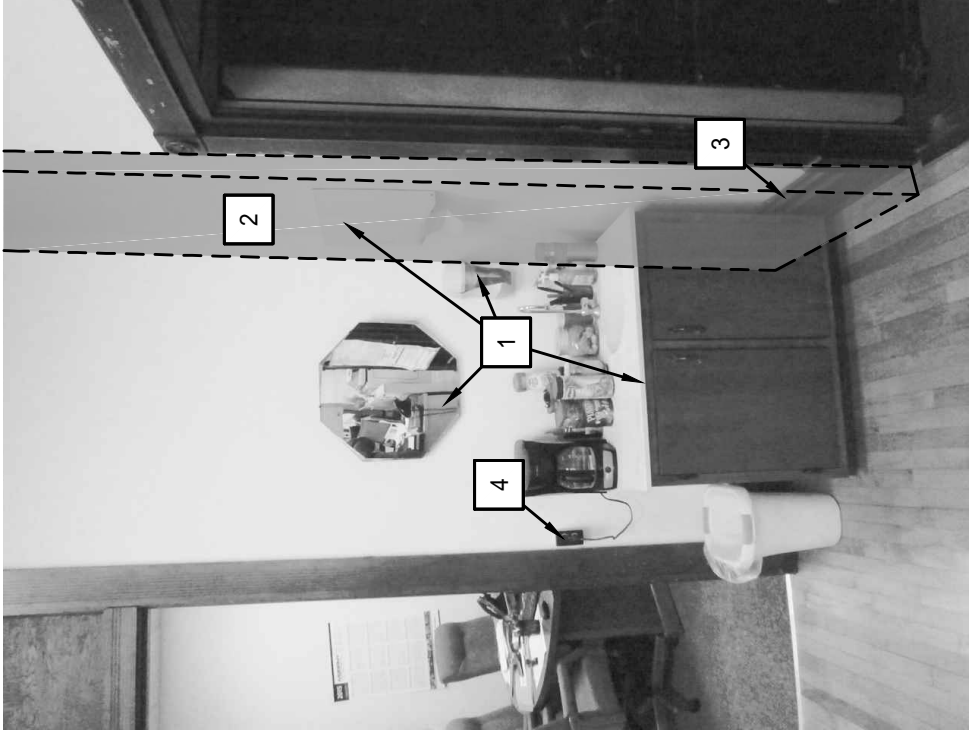
7. Additional security information was requested in regards to removal of doors.
It was suggested that an ideal situation is to remove and replace doors within regular work hours. If that is not feasible, alternate routes to spaces may be possible, which could allow for alternate methods of securing doors being worked on.
8. Security needs of files and legal evidence was discussed.
Legal evidence is not an issue, as it is not stored within the Jefferson County Courthouse. Security of files should be arranged prior to any work being performed. Should the contractor or any subcontractor at any time feel that secure or confidential materials are exposed they are to ask courthouse office staff in that location to address those concerns.
9. The building permit has not been applied for, and will need to be applied for by the general contractor.
10. Builders risk insurance will be through the county. Coordination of these requirements will be done with the county board and the counties insurer.
11. The location of the planned staging area at the Northwest corner of the courthouse parking was explained. It was also explained that some staging could take place closer to the building on its northwest corner. The west side sidewalk is larger, and could potentially be used for movement of equipment. It is estimated that this sidewalk is between 4" and 5" thick. As with the entire courthouse site, any damage to the property shall be the responsibility of the contractor to repair.
12. There was a brief discussion of the site lighting as shown on sheet ME-100. A determination of this alternate will be made at the time the bid is awarded.
13. An estimated budget of \$1.2 million was created prior to multiple design changes. Although an estimate has not been created since then, the cost of the project has probably increased by \$200,000.
14. Existing courthouse construction is a construction type with a 1 hour fire rating in both existing floors/ceilings and walls. All penetrations of existing conditions must be fireproofed accordingly.
15. A discussion took place with Meininger Fire Protection in regards to alternate methods for fire protection i.e. sidewall heads vs. ceiling heads. An alternate proposal may be accepted to accommodate preferred layouts and methods.
16. The question was asked, is the manufacture of the new door trim, base, window trim, etc. required to be by Ratigan-Schottler Manufacturing? NO, the materials in question may be manufactured by any qualified woodwork manufacturer or product shop.

This concludes items discussed during the Pre-Bid meeting.



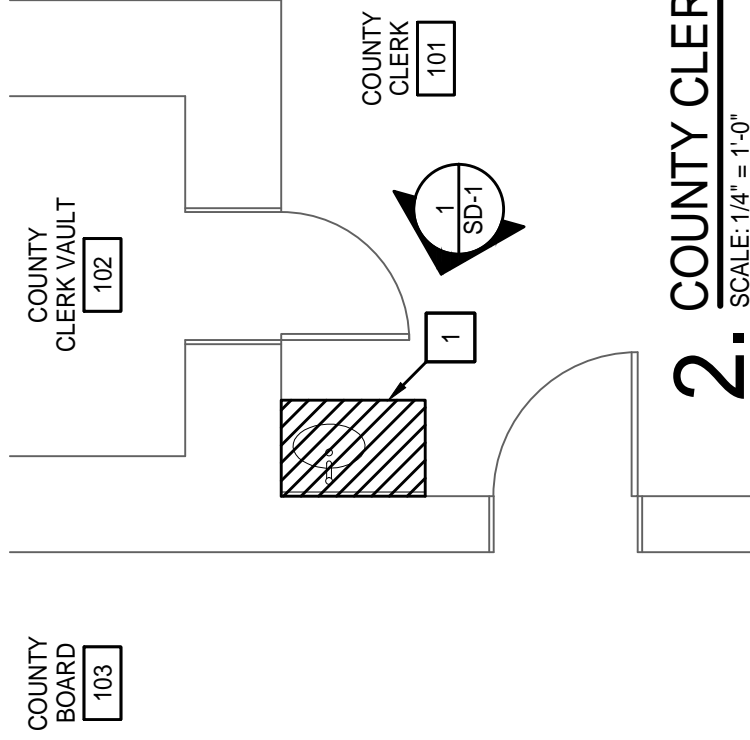
KEY NOTES: XX

1. REMOVE EXISTING WALL CABINET AND ALL RELATED ACCESSORIES IN THEIR ENTIRETY AND PREPARE AREA FOR CONSTRUCTION OF THE NEW FURRED OUT CONDUIT WALL.
2. SHADED AREA INDICATES LOCATION OF NEW FURRED OUT WALL TO COVER THE NEW CONDUIT. SEE ENLARGED PLAN. FURRING SHALL BE 6" METAL STUDS COVERED BY 5/8" TYPE 'X' GYPSUM BOARD. NEW GYPSUM BOARD WALL SHALL BE FINISHED AND PAINTED TO MATCH THE EXISTING WALL CONDITIONS.
3. CONTRACTOR SHALL REMOVE EXISTING WOOD BASE AS REQUIRED FOR CONSTRUCTION OF THE NEW FURRED OUT PANEL WALL. SALVAGE AND REINSTALL OR PROVIDE NEW, MATCHING BASE AS REQUIRED TO PROVIDE MATCHING FINISH FOR THE NEW FURRED OUT WALL.
4. REPLACE EXISTING RECEPTACLE WITH A NEW GFCI RECEPTACLE.



1. SINK PHOTO DETAIL
SCALE: NTS

**PLAN MODIFIED
FROM SHEET AD - 101**



2. COUNTY CLERK SINK
SCALE: 1/4" = 1'-0"

Project number:
201302-302

Date:
11-17-2015

SD-1

**JEFFERSON COUNTY
COURTHOUSE RENOVATION**
411 4th Street
Fairbury, NE 68352

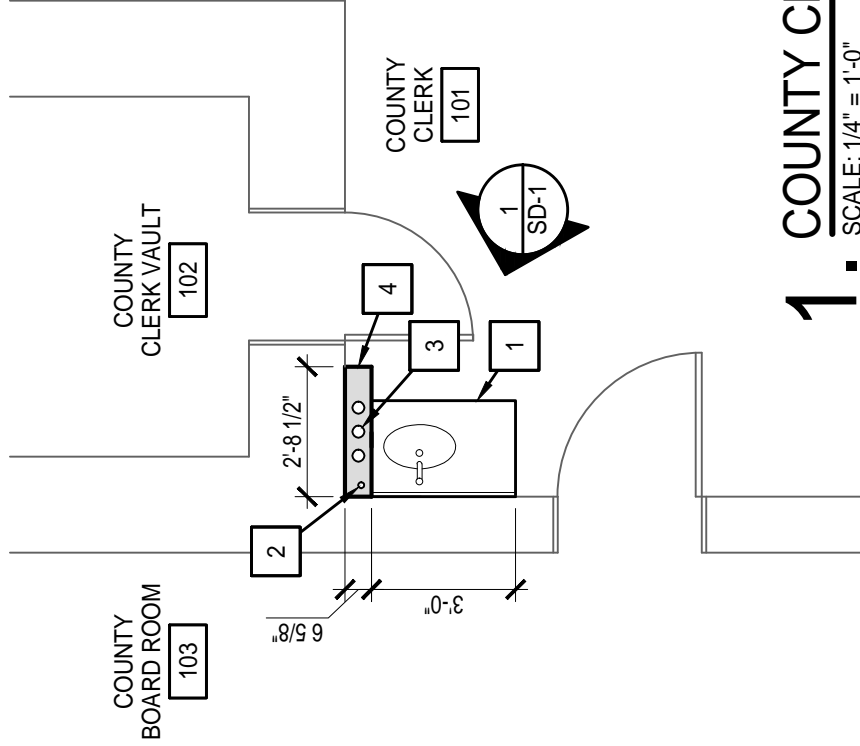


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KEY NOTES: XX →

1. REINSTALL RELOCATED WALL CABINET AND ALL RELATED ACCESSORIES.
2. RECONNECT SINK TO THE EXISTING VENT AND DRAIN LINE. EXTEND VENT TO 2'-0" ABOVE ATTIC FRAMING FOLLOWING DATA CONDUIT PATH TO THE ATTIC.
3. NEW 3" Ø METAL DATA WIRING CONDUIT. SEE KEY NOTE 14 ON SHEET A-100.
4. NEW WALL TO EXTEND 6" ABOVE THE NEW ACT CEILING.
5. FIREPROOF ALL FLOOR / CEILING PENETRATIONS ALONG ENTIRE VERTICAL PATH OF ANY VENT, CONDUIT, OR PIPING.



**PLAN MODIFIED
FROM SHEET A - 101**

1. COUNTY CLERK SINK
SCALE: 1/4" = 1'-0"

Project number:
201302-302

Date:
11-17-2015

SD-2

**JEFFERSON COUNTY
COURTHOUSE RENOVATION**

411 4th Street
Fairbury, NE 68352



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**JEFFERSON COUNTY COURTHOUSE
 FIRE CODE IMPROVEMENTS AND LIGHTING PROJECT
 PRE-BID MEETING
 November 13, 2015 – 1:30 PM**

*Please sign in
 Name, Company Name, Address, Phone, Fax, & Email*

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