

February 26, 2015

ADDENDUM B

TO DRAWINGS AND SPECIFICATIONS FOR:

Saint James Catholic Church
Phase 1 Renovations and Additions
Kearney, Nebraska
RDG Project No. 2013.203.01, File 35.1

RDG Planning & Design
900 Farnam on the Mall, Suite 100
Omaha, NE 68102-5089
(402) 392-0133

NOTICE TO BIDDERS

This Addendum modifies the original Contract Documents and Project Manual dated January 28, 2015. Bidders must acknowledge receipt of the Addendum on the Bid Form.

Unless otherwise indicated, the work described herein shall comply with, and be equal in all respect to, the original Contract Specifications and Drawings. Include all incidental work required to properly complete the work whether stated herein or not.

ADDENDA TO THE PROJECT MANUAL

Architectural Specification Items

BGS-1 Document 00 41 13 – Bid Form – Stipulated Sum (Single Prime Contract): Document has been revised and reissued in its entirety. Modifications include a write-in date for Substantial Completion, a revised list of alternates, and a provision to allow excavation at the office addition starting April 13, 2015. See attached Pages 00 41 13-1 through 00 41 13-5.

BGS-2 Section 00 80 00 – Supplementary Conditions, Page 00 80 00-9, Article 11:

A. Paragraph 11.1 (Contractor's Liability Insurance), Item 11.1.2.4: Revise to read as follows:

11.1.2.4 Umbrella or Excess Liability coverage:

***\$5,000,000 Umbrella
(Other options to reach \$5,000,000 will be considered by Owner's insurance.)***

B. Paragraph 11.3 (Property Insurance): Delete the following:

Add the following sentence to Section 11.3.1.3:

Item 11.3.1.3: ...This property insurance is written with a deductible of \$_____ per occurrence with a deductible aggregate of \$_____.

ST. JAMES CATHOLIC CHURCH
PHASE 1 RENOVATIONS
AND ADDITIONS
KEARNEY, NEBRASKA
2013.203.01

BGS-3

Section 01 23 00 – Alternates, Page 01 23 00-2, Paragraph 3.1

A. Subparagraph A: Revise Item 1 to read:

1. Base Bid: No portion of this work is to be included. ***Opening 134 and Window R1 are included in the Base Bid.***

B. Subparagraph C: Delete Alternate No. 3 in its entirety. This alternate is now Alternate No. 10.

BGS-4

Section 06 10 00 – Rough Carpentry (Addendum A, Item AGS-4), Page 06 10 00-4, Paragraph 2.9: Revise Subparagraph 1 to read:

1. ***DOC PS 1, Exterior, CDX, 3/4” thickness.***

BGS-5

Section 07 21 00 – Thermal Insulation, Page 07 21 00-2, Paragraph 2.1, Subparagraph B, Item 2: Add new Sub-Item d as follows:

- d. ***Firestone Building Products.***

BGS-6

Section 07 42 13.13 – Formed Metal Wall Panels, Page 07 42 13.13-2, Paragraph 2.1, Subparagraph B, Item 1: Add new Sub-Item g as follows:

- g. ***Firestone Building Products.***

BGS-7

Section 07 72 00 – Roof Accessories, Page 07 72 00-2, Paragraph 2.2, Subparagraph A, Item 1: Add the following:

- g. ***SafePro L.P.***

BGS-8

Section 08 14 33 – Stile and Rail Wood Doors: Delete section in its entirety.

BGS-9

Section 08 41 13 – Aluminum-Framed Entrances and Storefronts:

A. Page 08 41 13-1, Paragraph 1.4, Subparagraph C, Item 1:

1. Item a: Revise basic wind speed to read ***“120 mph.”***
2. Item b: Revise to read:

- b. ***Risk Category: III.***

3. Item c: Revise exposure category to read ***“B.”***

B. Page 08 41 13-2, Paragraph 1.4, Subparagraph I: Revise “0.57 Btu/sq. ft. x h x deg F” to read ***“0.45 Btu/sq. ft. x h x deg F.”***

C. Page 08 41 13-4, Paragraph 2.1, Subparagraph A: Add the following:

4. ***Manko Window Systems, Inc.***

D. Page 08 41 13-5, Paragraph 2.5, Subparagraph A, Item 1: Revise “1-3/4-inch overall thickness” to read, ***“1-3/4-inch or 2-inch overall thickness.”***

BGS-10

Section 08 44 13 – Glazed Aluminum Curtain Walls:

- A. Page 08 44 13-1, Paragraph 1.3, Subparagraph C, Item 1:
 - 1. Item a. Revise basic wind speed to read, “**120 mph.**”
 - 2. Item b. Revise exposure category to read, “**B.**”
- B. Page 08 44 13-2, Paragraph 1.3, Subparagraph I:
 - 1. Item 1, Thermal Transmittance (U-factor): Revise “0.29 Btu/sq. ft. x h x deg F” to read, “**0.32 Btu/sq. ft. x h x deg F.**”
 - 2. Item 2, Solar Heat Gain Coefficient: Revise to read, “**no greater than 0.39...**”
- C. Page 08 44 13-3, Paragraph 2.1, Subparagraph A: Add new Item 4 as follows:
 - 4. Manko Window Systems, Inc.**

BGS-11

Section 08 71 00 – Door Hardware, Pages 08 71 00-9 through 08 71 00-13, Paragraph 3.7:

- A. Set 10: Delete set in its entirety.
- B. Set 14: Delete Door Nos. 127E, 131, and 132.
- C. Set 16: Change “2 Each Kickplate” to read “**2 Each Armor Plate.**”
- D. Set 27: Delete Door No. 121A and associated item “Closer 7500.”
- E. Set 22: Add Door No. 002.
- F. Set 25: Delete Door Nos. 109 and 111.
- G. Set 26: Delete set in its entirety.

BGS-12

Section 09 30 00 – Tiling:

- A. Page 09 30 00-1, Paragraph 1.2, Subparagraph A: Add new Item 4 as follows:
 - 4. Waterproof membrane.**
- B. Page 09 30 00-3, Paragraph 2.4: Add new Subparagraph B as follows.
 - B. Sanded Grout at Submerged Locations: Hydroment sanded grout with 425 acrylic latex additive.**

C. Page 09 30 00-4: Add new Paragraph 2.7 as follows:

2.7 WATERPROOF MEMBRANE:

- A. General: Manufacturer's standard product, selected from the following, that complies with ANSI A118.10 and is recommended by the manufacturer for the application indicated. Include reinforcement and accessories recommended by manufacturer.**
- B. Urethane Waterproofing and Tile-Setting Adhesive: One-part, liquid-applied urethane in a consistency suitable for trowel application and intended for use as both waterproofing and tile-setting adhesive in a two-step process.**
 - 1. Products: Subject to compliance with requirements, provide the following:**
 - a. Bostik, Inc.; Hydroment Ultra-Set.**

D. Page 09 30 00-5, Paragraph 3.2: Add new Subparagraph D as follows.

D. Waterproofing Installation:

- 1. Install waterproofing to comply with ANSI A108.13 and manufacturer's written instructions to produce waterproof membrane of uniform thickness and bonded securely to substrate.**
- 2. Do not install tile or setting materials over waterproofing until waterproofing has cured and been tested to determine that it is watertight.**

BGS-13

Section 10 22 38 – Operable Panel Partitions, Page 10 22 38-3, Paragraph 2.5:

- A. Delete Subparagraph A (Pass Door) and associated Item 1 below.
- B. Renumber Item B to read:

A. Storage Pocket Door.

Structural Specification Items

BSS-1

Section 03 30 00 – Cast-in-Place Concrete, Page 03 30 00-9, Paragraph 3.4, Subparagraph A: Delete Item 1 and replace with the following Items 1 through 8:

- 1. Level and compact base material.**
- 2. Extend vapor barrier to the perimeter of the slab and terminate at the top of the slab. At the point of termination, seal vapor barrier to the foundation wall with approved tape or sealant.**
- 3. Lap joints 6 inches and seal with manufacturer's recommended tape.**
- 4. Apply seam tape to a clean and dry vapor barrier.**
- 5. Seal all penetrations including pipes per manufacturer's instructions.**
- 6. Avoid the use of non-permanent stakes driven through vapor retarder.**
- 7. If non-permanent stakes are driven through vapor retarder, repair as recommended by vapor retarder manufacturer.**
- 8. Repair damaged areas with vapor barrier material of similar permeance and strength.**

Mechanical Specification Items

BMS-1

Section 21 05 00 – Common Work Results for Fire Suppression, Page 21 05 00-3, Paragraph 2.3, Subparagraph A:
Add the following:

... Steel pipe shall be constructed of ASTM A135/A135M Schedule 10, black.

Electrical Specification Items

No items this addendum.

ADDENDA TO THE DRAWINGS

Architectural Drawing Items

BGD-1

Sheet AD0.01 – Demolition Plan, Demo General Notes: Add the following note.

12. Pews shall be removed by Owner by April 27, 2015.

BGD-2

Sheet A00.01 – Site Plan:

- A. Update drainage, sod, and paving notes per attached Supplemental Drawing SDA-04.
- B. Add the following General Notes:

General Notes

- 1. Patch and repair sod damaged for new work including backfill locations, staging areas, and trenching.**
- 2. Irrigation system replacement shall be by Owner.**
- 3. Cut and patch back concrete slab as required for new water entry into basement.**
- 4. Where new sidewalks are shown provide 4" thick paving. See structural for stoops.**

BGD-3

Sheet A01.01 – Floor Plan:

- A. Plan Notes:
 - 1. Note 3.8: Add the following sentence:
... Provide panel signs at Rooms 119, 120, and for Alternate 1: 131, 132, and 133.
 - 2. Add Note 3.9 as follows:
3.9 Provide four (4) fire extinguisher cabinets (FEC). See Sheet A12.01 for locations.
 - 3. Add Note 5.3 as follows:
5.3 Telecom equipment is furnished and installed by Owner. Coordinate with electrical work in documents.
- B. Floor Plan: Add detail callouts as indicated on Supplemental Drawing SDA-05.
- C. Plan A1, Add Alternate 1: At Nursery/Preschool (134), add note to the east wall casework reading:
84"H x 33"W x 24"D full-height plam wall cabinets w/ four adjustable shelves.
- D. Add Detail A6, Alum Jamb, per attached Supplemental Drawing SDA-05.

BGD-4

Sheet A01.02 – Clerestory Plan, Details B2, C2, and D2: Add a note reading:

Provide metal framing at column flange for attachment of rigid insulation.

BGD-5

Sheet A02.01 – Enlarged Plans:

- A. Enlarged Plan C1, Enlarged Office Area Plan: Add a note at new opening in existing wall near Door 115 as follows:

Provide new 5/8" GB finish (P) at opening cut in existing wall.

- B. Enlarged Plan C5, Enlarged Restroom Plan – Alternate:

1. At Women (131), add two (2) notes for ***TA-1.1*** and two (2) notes for ***TA-4.2***.
2. At Men (132), add a note at new opening in existing wall near new countertop as follows:

Provide new 5/8" GB finish (P) at opening cut in existing wall.

BGD-6

Sheet A03.01 – Reflected Ceiling Plan:

- A. Plan A1, Add Alternate 1 – Reflected Ceiling Plan: Change Ceiling Type 2 @8'-10" noted at north end of plan to read, ***"Type 3 @ 8'-0".***

- B. Reflected Ceiling Plan:

1. Update plan with notes for electrical conduit and ceiling patching per attached Supplemental Drawing SDA-06.
2. To the west of Corridor (126), revise the ceiling tag note reading Type 3 @ 7'-11" to read, ***"Type 3,@ 8'-0".***
3. At Women 131, add the following note:

Patch ceiling as required for new sprinkler main installation.

4. At note reading "Alternate No. 2 Skylights in Office," add the following sentence:

... Basis of Design: Solatube S750DS with optiview diffuser and RPI 12" tall roof curb.

BGD-7

Sheet A06.01 – Building Sections, Wall Section A5: Revise section with additional details for cross attachment and light fixture per attached Supplemental Drawing SDA-08.

BGD-8

Sheet A07.01 – Wall Sections:

- A. Detail A1, Skylight: Revise detail per attached Supplemental Drawing SDA-09.
- B. Detail D4, Wall Detail: Revise detail per attached Supplemental Drawing SDA-09.
- C. Detail D5, Wall Detail: Revise detail per attached Supplemental Drawing SDA-12.

BGD-9

Sheet A07.02 – Wall Sections:

- A. Add Detail C1, Cove Detail, per attached Supplemental Drawing SDA-10.
- B. Detail C2, Wall Section:
 - 1. Add reference at window sill reading, **“C3 / A10.02.”**
 - 2. Add note to exterior wall reading, **“5/8” Exterior Plywood.”**
 - 3. Add note to bottom soffit, below note reading “3 4/8” Metal Stud” that reads **“5/8” GB.”**
- C. Detail B5, Wall Section: Revise per attached Supplemental Drawing SDA-11.
- D. Detail D4, Wall Detail: Update coping with insulation, water and air barrier, and blocking per attached Supplemental Drawing SDA-13.

BGD-10

Sheet A10.01 – Door / Window Schedule / Types:

- A. Frame Type F2: Revise head dimension to read, **“4”.**
- B. Door Panels: At panels FG, FG2, and FG3, add note:

Structural Composite Lumber Core with Glazing per Door Schedule.
- C. 2” Storefront Frames:
 - 1. Frame S1: Revise callout reading “A6.1 / A10.02” to read, **“A6 / A01.01.”**
 - 2. Frame S2: Revise callout reading “B3 / A10.02” to read, **“D4 / A07.01.”**
 - 3. Frame S7: Delete callout reading “C5.2 / A10.02.”
- D. Curtainwall Frames:
 - 1. Frame S10:
 - a. Revise callout reading “C3 / A10.02” to read, **“D1 / A07.01.”**
 - b. Revise callout reading “A3.1 / A10.02” to read, **“C3 / A10.02.”**
 - 2. Frames S13, S14, and S15: Add callout reference at frame head reading **“D1 / A07.01”** and callout reference at frame sill reading **“C3 / A10.02.”**
 - 3. Frame S16: Add callout reference at frame head reading **“D1 / A07.01”** and callout reference at frame sill reading **“D2 / A07.01.”**
- E. Door Schedule:
 - 1. Doors 100A, 101A, and 123A: Revise door panel width to read **“3’-6”.**
 - 2. Door 100A:
 - a. Revise the head detail to read, **“D4 / A07.01.”**
 - b. Revise the jamb detail to read, **“A6 / A01.01.”**
 - 3. Doors 100B and 100C: Delete the head and jamb detail references and replace with **“-.”**

4. Doors 100A, 100B, and 100C:
 - a. Revise door finish to read, ***"Anod."***
 - b. Revise the frame material to read ***"AL."***
5. Doors 101A and 123A: Revise door panel thickness to read ***"2 1/4".***
6. Door 102B: Revise frame type to read, ***"F2."***
7. Doors 110 and 116A: Revise door jamb detail to read, ***"E6 / A10.02 (SIM)."***
8. Door 116B:
 - a. Revise door panel width to read, ***"3'-0".***
 - b. Revise material to read, ***"WD."***
 - c. Revise finish to read, ***"S."***
 - d. Revise frame type to read, ***"F2."***
9. Doors 108, 109, 116A, 131, and 132: Delete hardware set. The existing hardware set shall be reused.
10. Doors 121A and 122: Change the hardware set to read, ***"18."***
11. Doors 131 and 132: At the Remarks column, add ***"1."***
12. Remarks: Revise Remark 1 to read as follows.
 1. Reuse existing door, hardware, ***and frame.*** See Demolition Plan Sheet ADO.01.

BGD-11

Sheet A10.02 – Door / Window Schedule / Types:

- A. Delete Details A3.1, A6.1, B3, C5.1, and C5.2.
- B. Detail B3: Revise per attached Supplemental Drawing SDA-07.
- C. Add Detail C6.1, Alum Jamb, per attached Supplemental Drawing SDA-14.
- D. Details E6 and D6: Revise per attached Supplemental Drawing SDA-15.
- E. Detail D5: Add hardwood sill @ window and note reading:

3/4" Hardwood sill w/ bullnose edge and 1/2" projection.
- F. Detail C3: Revise per attached Supplemental Drawing SDA-16.
- G. Details A5.2 and A6.2: Revise location of compressible fill to be under frame and change note reading "compressible fill" to read, ***"1" rigid insulation."***

BGD-12

Sheet A11.01 – Finish Details and Schedule: Replace sheet with the reissued Sheet A11.01. Updates include finish schedule information and details for tile and waterproofing at the font.

BGD-13

Sheet A12.01 – Floor Finish Plan: Replace sheet with the reissued Sheet A12.01. Updates include floor finish patterns, floor slab joints, and fire extinguisher cabinet locations.

BGD-14

Sheet A13.01 – Interior Elevations and Details:

- A. Add Detail D6, Soffit, per attached Supplemental Drawing SDA-17.
- B. Elevations D1, D3, B1, and B4: Update elevations per attached Supplemental Drawings SDA-18 through SDA-21.
- C. Elevations A2.1 and A3.1:
 - 1. Delete the note “Plam top and backsplash” and replace with a note reading, **“Simulated stone top and backsplash.”**
 - 2. Delete the note “Plam valance” and replace with a note reading, **“Simulated stone valance.”**

BGD-15

Sheet A13.02 – Interior Elevations and Details:

- A. Elevation A4: Add note at base cabinets reading, **“27” sink base and 27” full base cabinets.”**
- B. Elevation B4, Interior Elevation 102S:
 - 1. Add note at countertop reading, **“Plam top and backsplash.”**
 - 2. Add note at cabinets reading, **“Plam base cabinets.”**
- C. Elevation B1: Add soffit detail reference and mail drop information per attached Supplemental Drawing SDA-22.
- D. Elevations C4 and C5:
 - 1. Delete the note “Plam top and backsplash” and replace with a note reading, **“Simulated stone top and backsplash.”**
 - 2. Delete the note “Plam valance” and replace with a note reading, **“Simulated stone valance.”**

Structural Drawing Items

BSD-1

Sheet S1.00: Cast-in-Place Concrete Work:

- A. Add the following to the end of Paragraph 5.C.(1): **“Unless Noted Otherwise.”**
- B. Add the following to the end of Paragraph 5.C.(2): **“Unless Noted Otherwise.”**
- C. Add the following to the end of Paragraph 5.C.(3): **“Unless Noted Otherwise.”**

BSD-2

Sheet S1.01, Construction Notes: Revise Construction Note 9 to read:

9. EXISTING GLUE LAM BEAM.

BSD-3

Sheet S1.02, Construction Notes: Revise Construction Note 9 to read:

9. EXISTING GLUE LAM BEAM.

BSD-4

Sheet S1.04, Construction Notes: Revise Construction Note 9 to read:

9. EXISTING GLUE LAM BEAM.

BSD-5

Sheet S7.01, Detail 16:

A. Add the following mark to the top of the floor slabs shown:

FINISH FLOOR; ELEV.: SEE ARCH.

B. Add the following label to the slab reinforcing shown:

REINFORCING PER CAST-IN-PLACE CONCRETE WORK NOTE 5.C.(2).

Mechanical Drawing Items

BMD-1

Sheet M02.01 – Floor Plan – HVAC: Provide new linear diffusers (LD-3) at entry of worship center. See attached Sketch Sheet SDM-04.

BMD-2

Sheet M06.01 – Mechanical Schedule: Add linear diffuser (LD-3) to Diffuser Register and Grille Schedule. See attached Sketch Sheet SDM-05.

Electrical Drawing Items

BED-1

Sheet E01.01 – Floor Plan – Lighting: Revise luminaire Type 4D locations per attached Sketch Sheets SDE-04, SDE-05, and SDE-06.

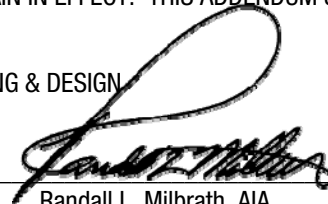
Audiovisual Drawing Items

No items this addendum.

ALL OTHER REQUIREMENTS OF THE PLANS AND SPECIFICATIONS REMAIN IN EFFECT. THIS ADDENDUM SHALL BE ATTACHED AND MADE A PART OF THE PLANS AND SPECIFICATIONS.

RDG PLANNING & DESIGN

By _____



Randall L. Milbrath, AIA
for RDG Schutte Wilscam Birge, Inc.

END OF ADDENDUM B

SS/jm

Enclosure:

Document 00 41 13 – Bid Form – Stipulated Sum (Single Prime Contract)
Supplemental Drawings SDA-04 through SDA-22
Supplemental Drawing Sketch Sheets SDM-04 and SDM-05
Supplemental Drawing Sketch Sheets SDE-04, SDE-05, and SDE-06
Revised Sheets A11.01 and A12.01

ST. JAMES CATHOLIC CHURCH
PHASE 1 RENOVATIONS
AND ADDITIONS
KEARNEY, NEBRASKA
2013.203.01

ADDENDUM B - 10

DOCUMENT 00 41 13 – BID FORM – STIPULATED SUM (SINGLE-PRIME CONTRACT)

BID DATE: MARCH 3, 2015

OWNER: Saint James Catholic Church
3801 A Avenue
Kearney, Nebraska

PROJECT: Phase 1 Renovations and Additions to Saint James Catholic Church
Kearney, Nebraska

Proposal of _____

a corporation organized and existing under the laws of the State of _____

or a partnership consisting of _____

or an individual, trading as _____

The undersigned, as Bidder:

1. Declares that the only person or parties interested in this Proposal as principals are those named herein that this proposal is made, without collusion with any other person, firm, or corporation.
2. Declares that he/she has carefully examined the form of Contract, Instructions to Bidders, Addenda, Specifications, and the Drawings therein referred to and that he/she has carefully examined the locations, conditions, and classes of material for the proposed Work.
3. Agrees that he/she will provide all necessary machinery, tools, apparatus, and other means of construction and will do all Work and furnish all the materials called for in the Contract Documents in the manner therein prescribed.

In submitting this Bid, the undersigned agrees:

1. That the Owner has the right to reject this Bid.
2. To hold my Bid open for a period of thirty (30) calendar days from the date of receipt.
3. To accept the provisions of the Instructions to Bidders regarding disposition of bid security.
4. To enter into and execute a Contract, if awarded, on the basis of this Bid.
5. To accomplish the Work in accordance with Contract Documents. The undersigned further agrees to execute and deliver a Contract, in the form set forth in these Bidding Documents, within seven (7) days from date of notification of acceptance of Proposal.

The undersigned certifies that this Proposal is made in strict conformity with all of the conditions, contingencies, and requirements set forth, stated in every part of the Drawings, Specifications, Invitation to Bidders, Instructions to Bidders, General Conditions, Special Conditions, and all other parts setting for the specification for the performance of heretofore described Work and without collusion or connection with any other person, partnership, company, firm, association, or corporation offering bids on this Work.

Bidder proposes to enter into a Single contract, including all Work as indicated on Drawings and Project Manual prepared by RDG Planning & Design, 900 Farnam on the Mall, Suite 100, Omaha, Nebraska 68102 and dated January 28, 2015.

Bidder agrees to furnish all labor, materials, tools, equipment, services, transportation, supervision, and miscellaneous expenses required to complete the Work indicated on Bidding Documents with Contract time set form for the Lump Sum Bid of:

LUMP SUM BID _____ \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

ST. JAMES CATHOLIC CHURCH
PHASE 1 RENOVATIONS
AND ADDITIONS
KEARNEY, NEBRASKA
2013.203.01

BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

00 41 13 - 1
Revised: Addendum B

ALTERNATE BIDS

The following Alternates shall be expressed in both words and figures; in case of discrepancy, the amount shown in words shall govern. Also, Contractor shall indicate by circling either "ADD TO" or "DEDUCT FROM" for each Alternate. See Division 01 Section "Alternates" for description.

Alternate No. 1: Nursery addition, family restroom, restroom enlargement, and social hall expansion as indicated on the Drawings.

If this Alternate is accepted, (ADD TO) or (DEDUCT FROM) the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

Alternate No. 2: Solar tubes and related work in office area as indicated on the Drawings.

If this Alternate is accepted, (ADD TO) or (DEDUCT FROM) the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

Alternate No. 3: Not used.

Alternate No. 4: Include audio loop and related work. See A/V Drawings for additional information.

If this Alternate is accepted, (ADD TO) or (DEDUCT FROM) the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

Alternate No. 5: Social hall casework and operable panel partition as indicated in the documents.

If this Alternate is accepted, (ADD TO) or (DEDUCT FROM) the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

Alternate No. 6: No. 6: Youth room window replacement as shown on Sheet A10.02.

If this Alternate is accepted, (ADD TO) or (DEDUCT FROM) the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

Alternate No. 7: Roofing insulation base layer of two-inch rigid insulation board for all re-roof locations.

If this Alternate is accepted, (ADD TO) or (DEDUCT FROM) the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

Alternate No. 8: Lighting alternate scope per Sheet E01.01.

If this Alternate is accepted, **(ADD TO)** or **(DEDUCT FROM)** the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

Alternate No. 9: AISC certified plant is not provided.

If this Alternate is accepted, **(ADD TO)** or **(DEDUCT FROM)** the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

Alternate No. 10: Additional re-roofing areas as shown on the Roof Plan, Sheet A04.01.

If this Alternate is accepted, **(ADD TO)** or **(DEDUCT FROM)** the Lump Sum: \$ _____

(Bidder to fill in amount in both words and numbers; in case of discrepancy, the amount in words shall govern.)

UNIT PRICES

Contract Sum may be increased or decreased as required by Change Order through the use of appropriate Unit Price for the quantities of material or service added or decreased from the original Scope of Work. Unit Prices listed below are to be utilized in accordance with provisions of Division 01 Section "Unit Prices" to compute adjustments to the Contract Sum for which Unit Price proposal is submitted.

	<u>Unit</u>	<u>Quantity</u>	<u>Unit Price</u>
1. Removal of Unsatisfactory Soil and Replacement with Satisfactory Soil Material.....	Cubic Yard	300	\$ _____
2. Removal and Replacement of Roof Insulation and Wood Sheathing where Sheathing is Determined to be of Unsatisfactory Condition for Re-Roofing.	Square Foot	1,700	\$ _____

The above Unit Price Base Bid is the total amount for the furnishing of all labor, materials, services, equipment, and appliances required in conjunction with and properly incidental to all Work, in conformance with Drawings and Specifications.

PROJECT TIME OF COMPLETION

The undersigned agrees that Substantial Completion shall be no later than the date listed below:

Date of Substantial Completion: _____

Contractor will have limited access to the project site and facilities beginning April 13, 2015. Owner will be vacating furniture and equipment from April 13, 2015, through April 27, 2015. Contractor will have full access to areas of work on April 27, 2015.

Excavation may commence at the office addition on April 13, 2015, provided all exits are maintained.

SUBCONTRACTORS AND SUPPLIERS

The following companies shall execute subcontracts for the portions of the Work indicated:

Roofing Work: _____
City

Plumbing Work: _____
City

HVAC Work: _____
City

Electrical Work: _____
City

ADDITIONAL WORK

The undersigned Contractor agrees to furnish all labor, materials, and equipment for any additional work (except subcontracted work) ordered by the Owner and for which no pre-agreed price has been fixed for the direct cost of the extra labor and materials plus fifteen percent (15%) for overhead and profit. For additional work to be performed by subcontractors and for which no pre-agreed price has been fixed, the Contractor agrees to secure a reasonable price from the appropriate subcontractors and to provide the work for the subcontract price plus five percent (5%) for overhead and profit.

NUMBER OF SIGNED SETS OF DOCUMENTS

The Contract will be prepared in not less than three (3) counterpart (original signed) sets.

CONTRACTOR LICENSE

The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in Kearney, Nebraska, and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

THE PROPOSAL

The Drawings, Specifications, this Proposal, and such further terms and provisions as may be provided by Saint James Catholic Church shall become a part of the Contract.

The undersigned hereby declares that he/she has inspected the location and has carefully examined the Drawings, Specifications, and Contract Documents relating to the Work covered by the Bid.

The undersigned further declares that he/she will provide all necessary tools and equipment, do all Work, furnish all materials, and do everything required to carry out the above mentioned Work covered by this proposal, in strict accordance with the Contract Documents and the requirements pertaining thereto, for the sum or sums above set forth.

Proposal amounts shall be shown in both words and figures. In case of discrepancy, the amount shown in words shall govern. The Bidder acknowledges receipt and incorporation into this bid of the following Addenda:

No. _____

Dated: _____

The undersigned agrees that these submitted requirements constitute contractual obligations contingent only upon award of Contract by the Saint James Catholic Church. Also, the unsigned agrees that the percentage shown for the minority involvement is a binding commitment under the Contract for construction.

Bidder: _____
(Legal Firm Name)

By: _____ (Signature) _____ (Typed Name)

Title: _____

Address: _____

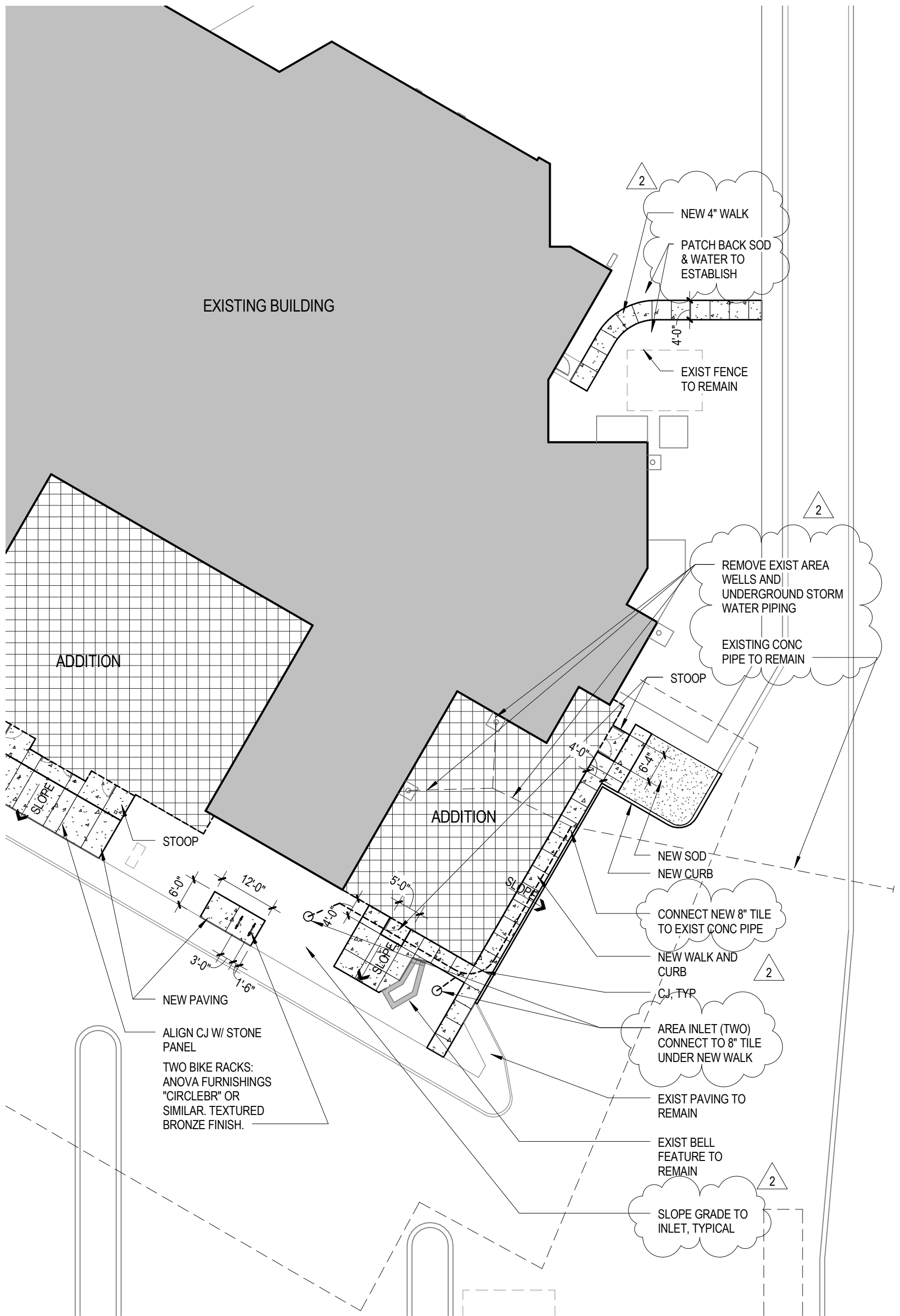
Telephone No.: _____

Fax No.: _____

E-Mail Address: _____

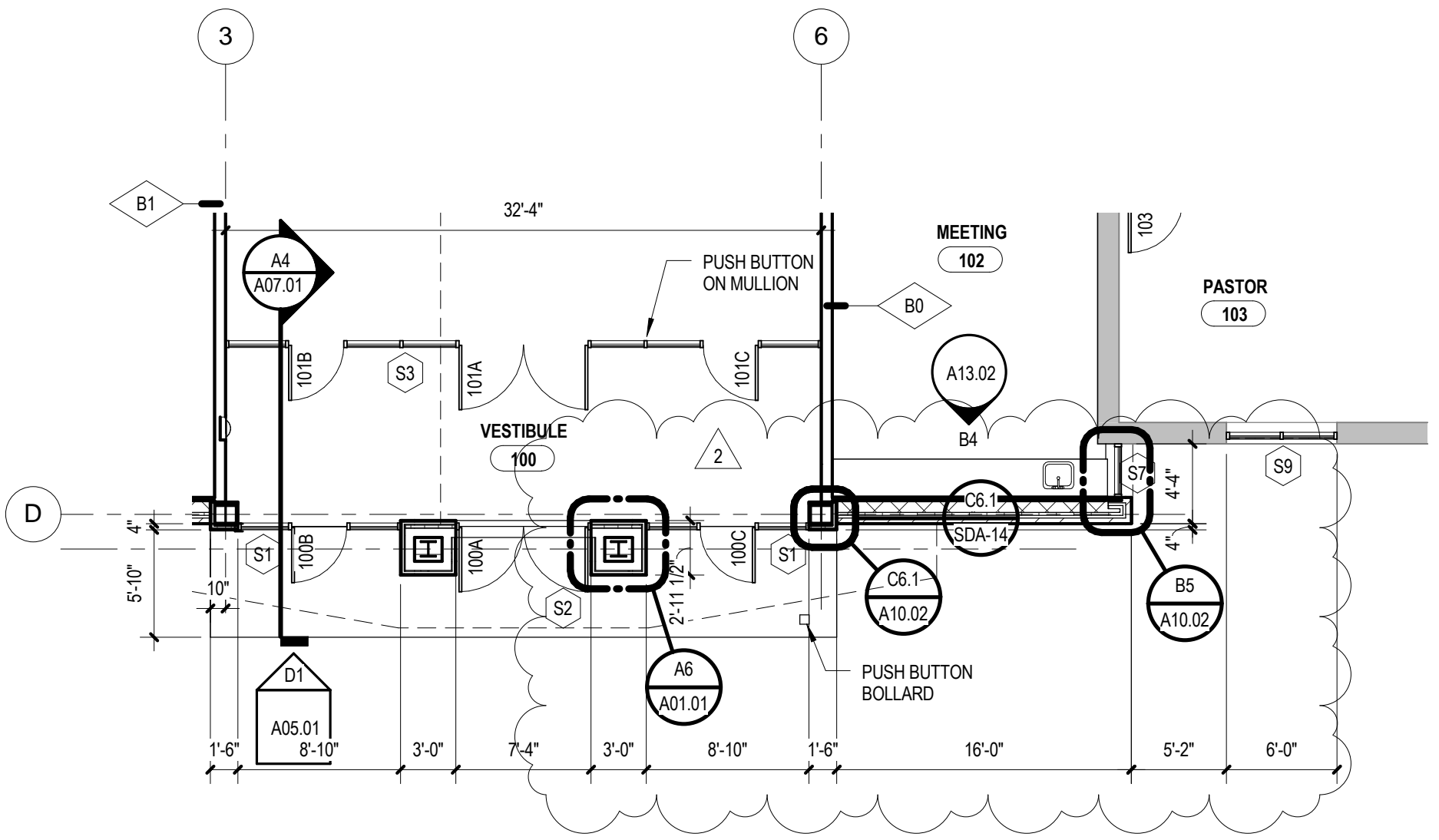
Charter Number (if Corporation): _____

END OF DOCUMENT 00 41 13



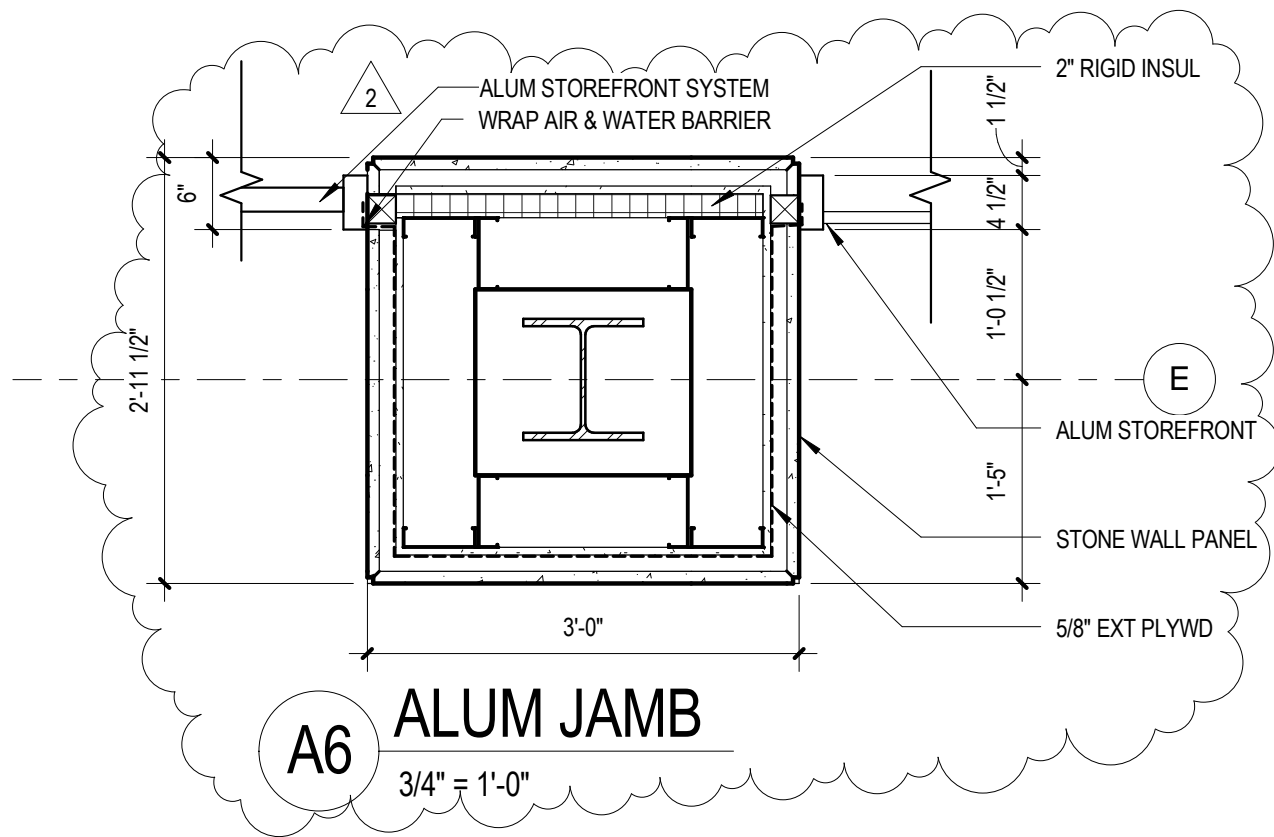
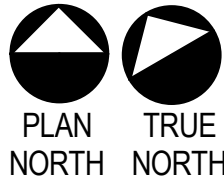
A4 SITE PLAN
1" = 20'-0"



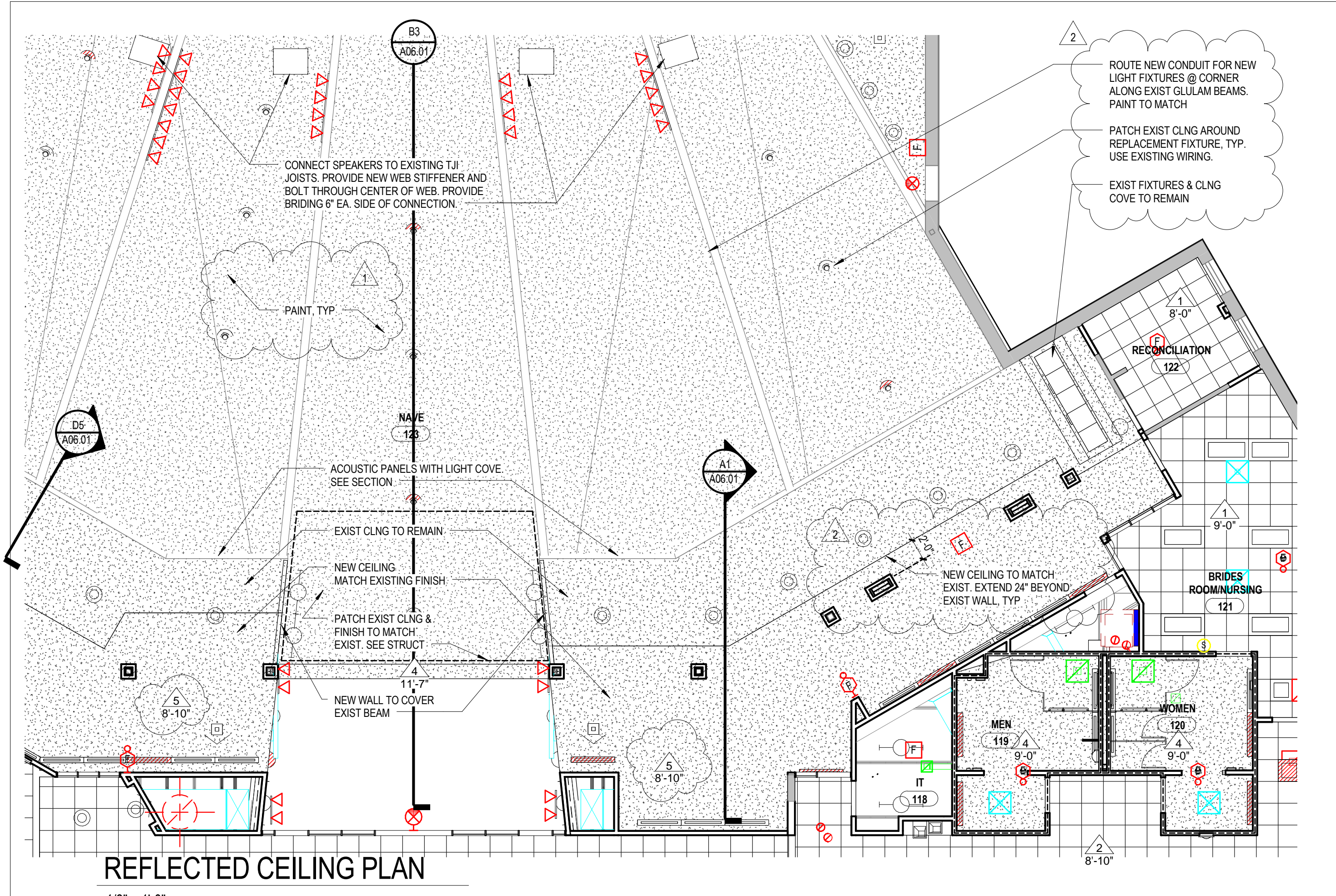


FLOOR PLAN

1/8" = 1'-0"



A6 ALUM JAMB
3/4" = 1'-0"



ROUTE NEW CONDUIT FOR NEW LIGHT FIXTURES @ CORNER ALONG EXIST GLULAM BEAMS. PAINT TO MATCH

PATCH EXIST CLNG AROUND REPLACEMENT FIXTURE, TYP. USE EXISTING WIRING.

EXIST FIXTURES & CLNG COVE TO REMAIN

REFLECTED CEILING PLAN

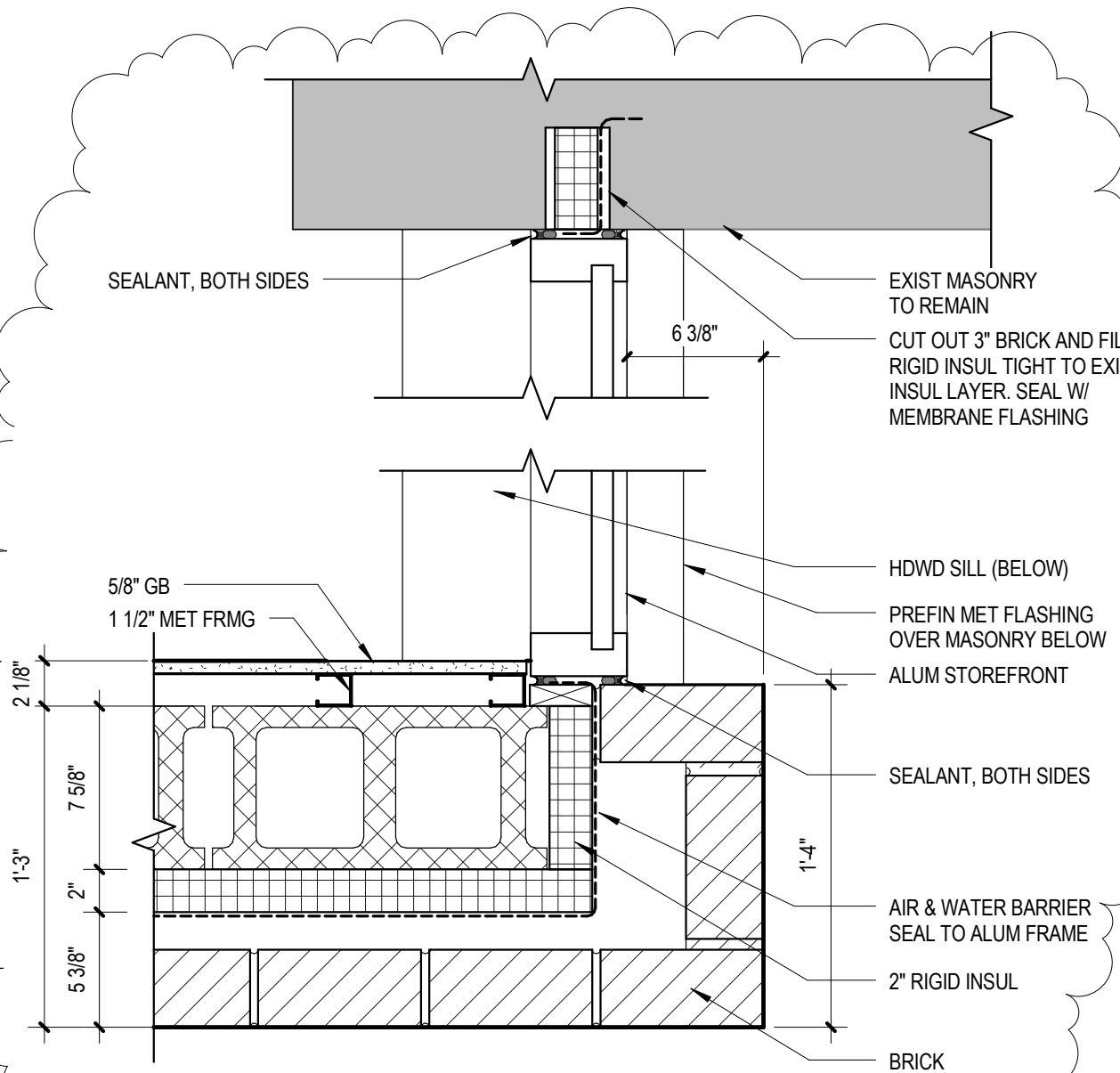
1/8" = 1'-0"

Project Number: 2013.203.01 | Date: 02/25/15 | Add to Sheet: A03.01 | Drawing: SDA-06

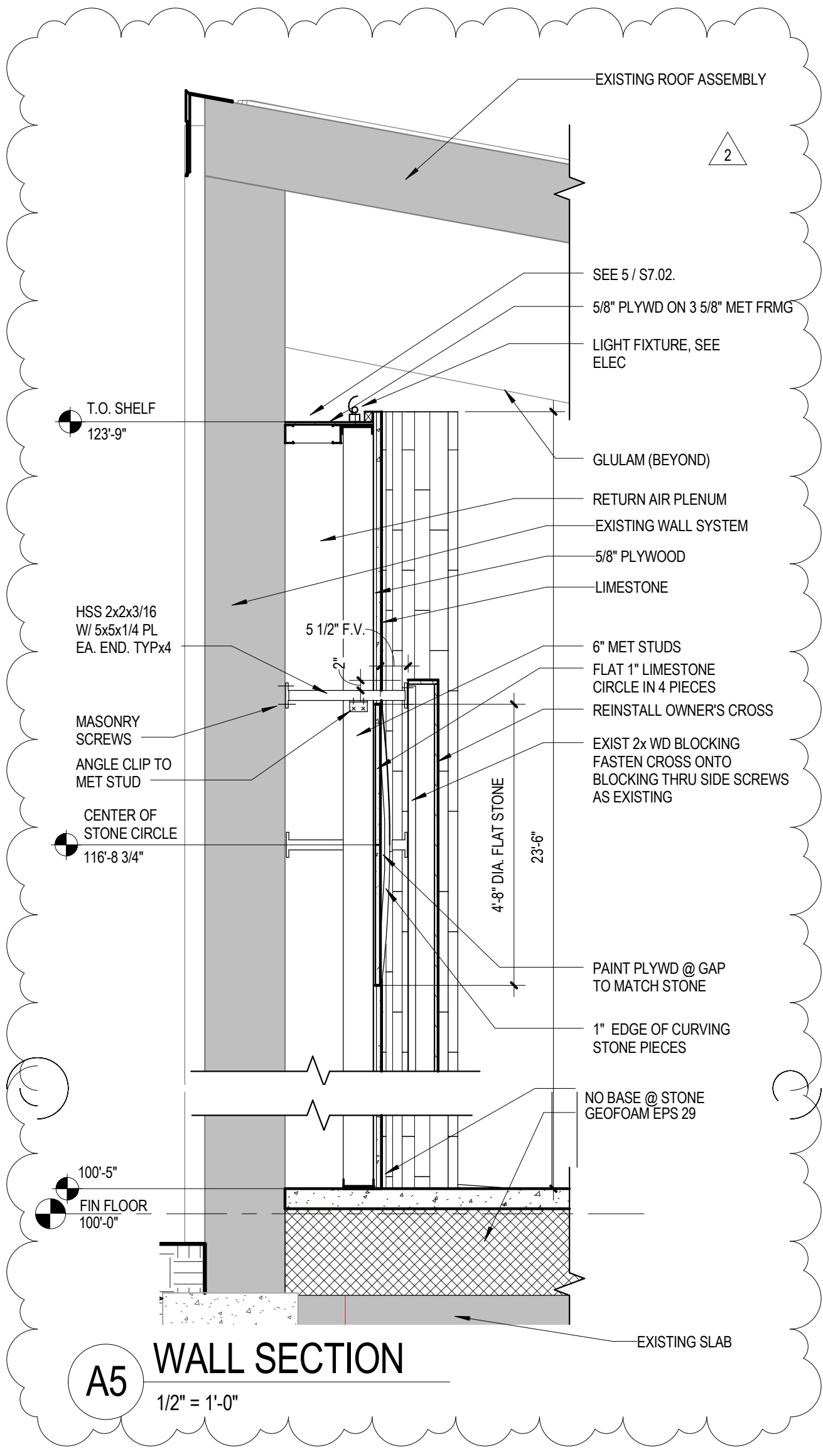
St. James Catholic Church
PHASE 1 RENOVATIONS AND ADDITIONS

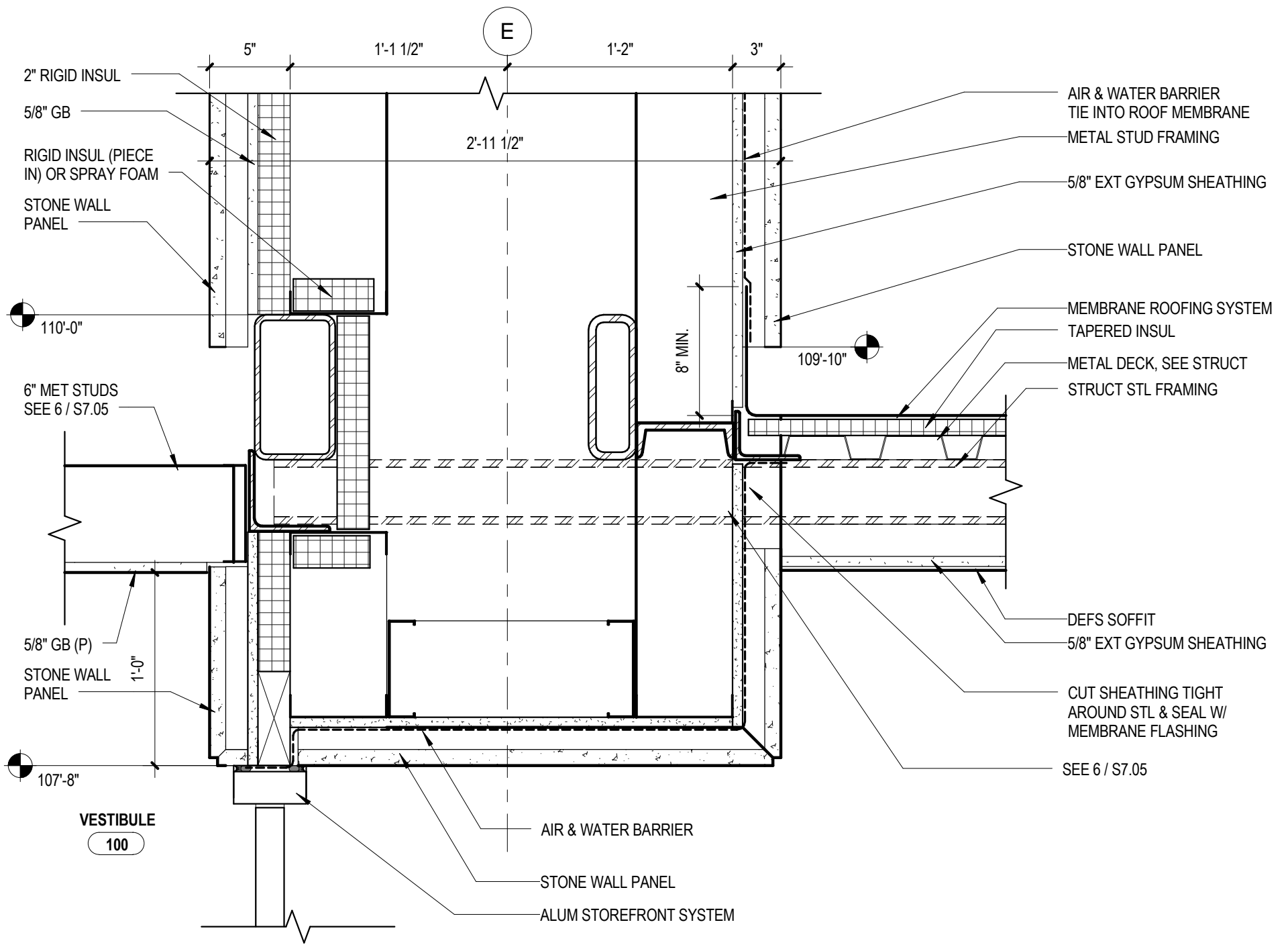
Addendum B



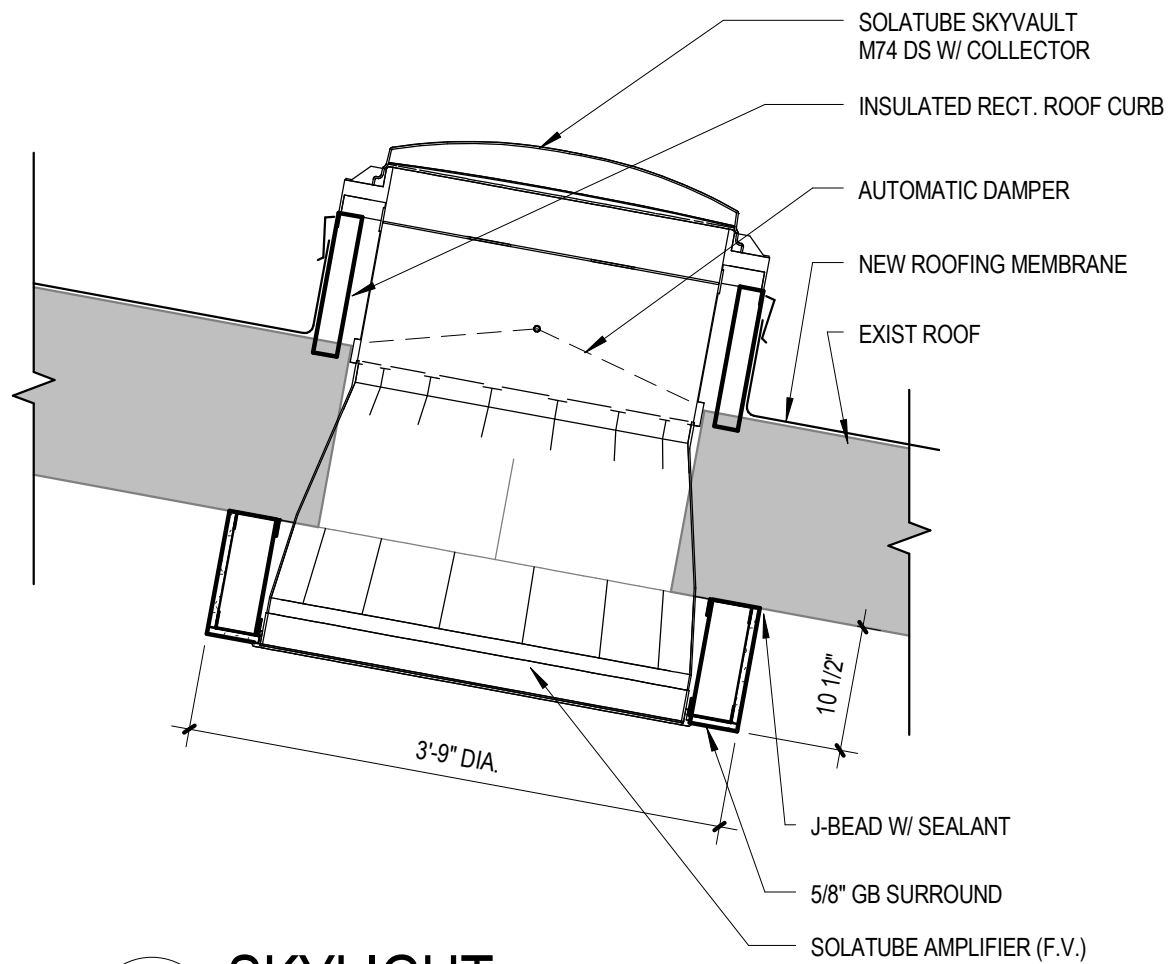


B5 ALUM JAMB
 1 1/2" = 1'-0"



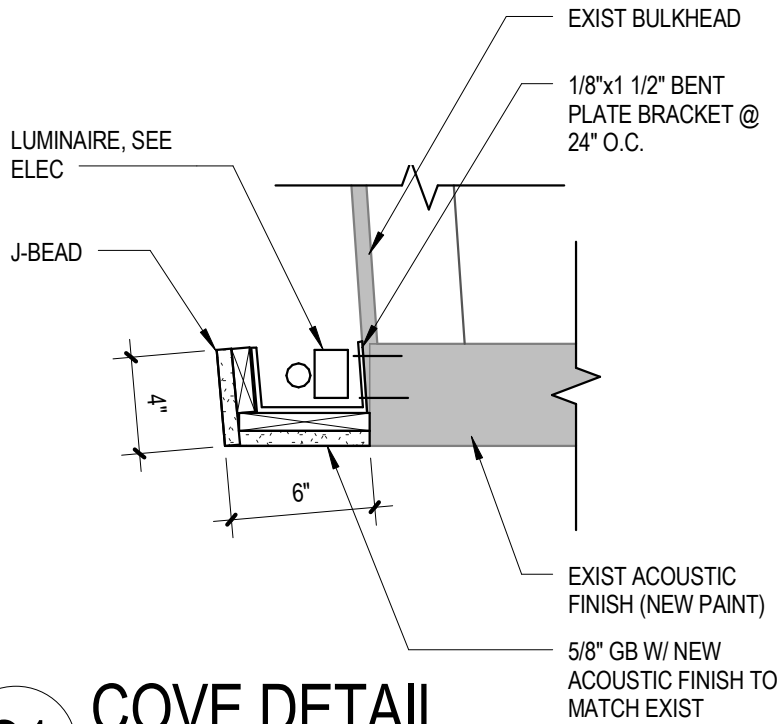


D4 WALL DETAIL
1 1/2" = 1'-0"



A1 SKYLIGHT
3/4" = 1'-0"

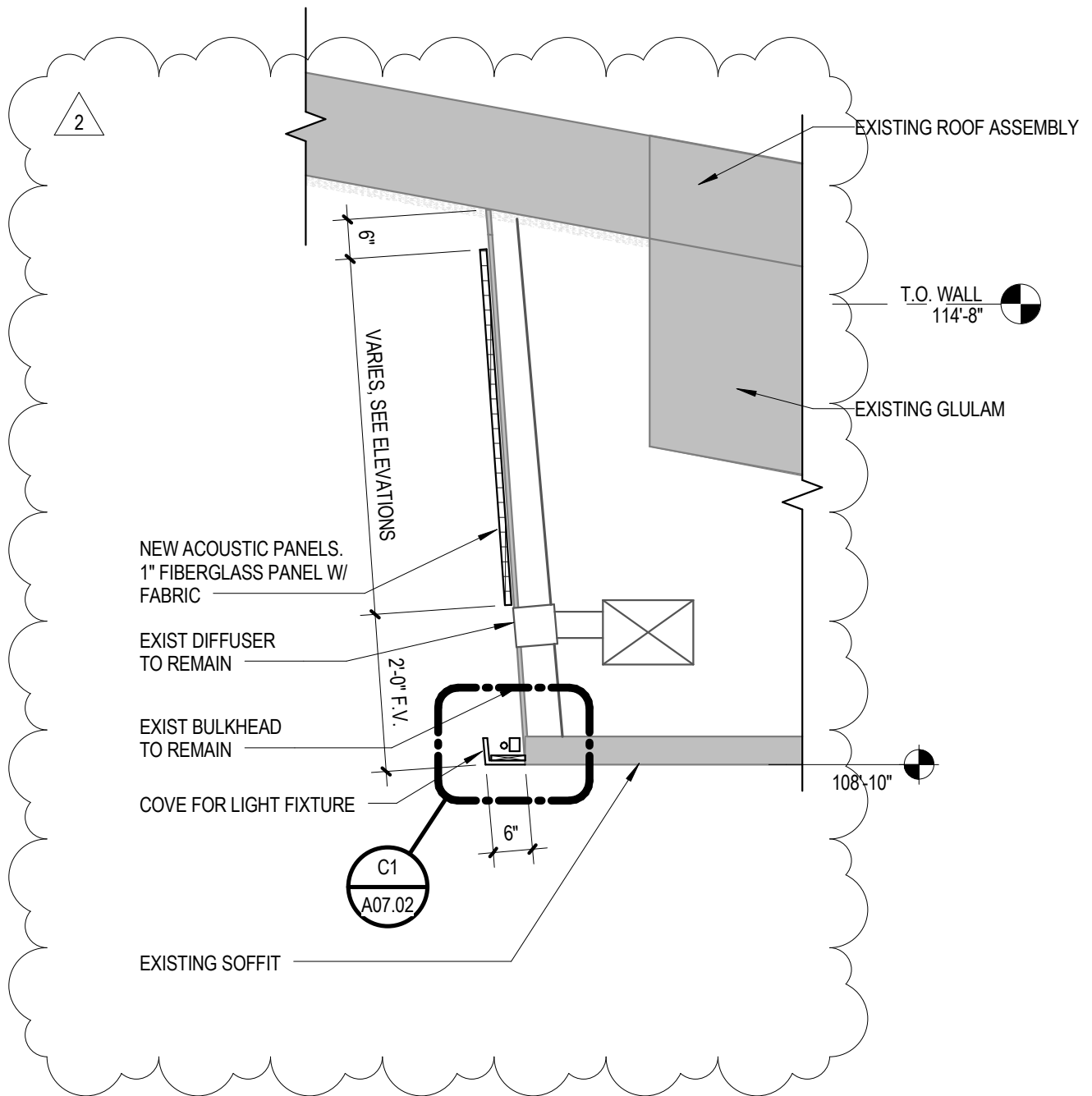
2



C1

COVE DETAIL

1 1/2" = 1'-0"



B5 WALL SECTION
1/2" = 1'-0"

BLOCKING
 HIGH-DOMED
 SCREW W/ GASKET
 WRAP MEMBRANE
 ROOFING UP & OVER
 PARAPET, TYP.

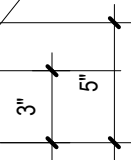
MEMBRANE ROOFING SYSTEM
 METAL DECK, SEE STRUCT

STEEL ANGLE, SEE STRUCT

PREFINISHED METAL COPING,
 MATCH EXISTING PROFILE

CONT CLEAT

T.O. WALL
 114'-8" 



AIR & WATER BARRIER
 TIE INTO ROOF MEMBRANE

SOLDIER COURSE

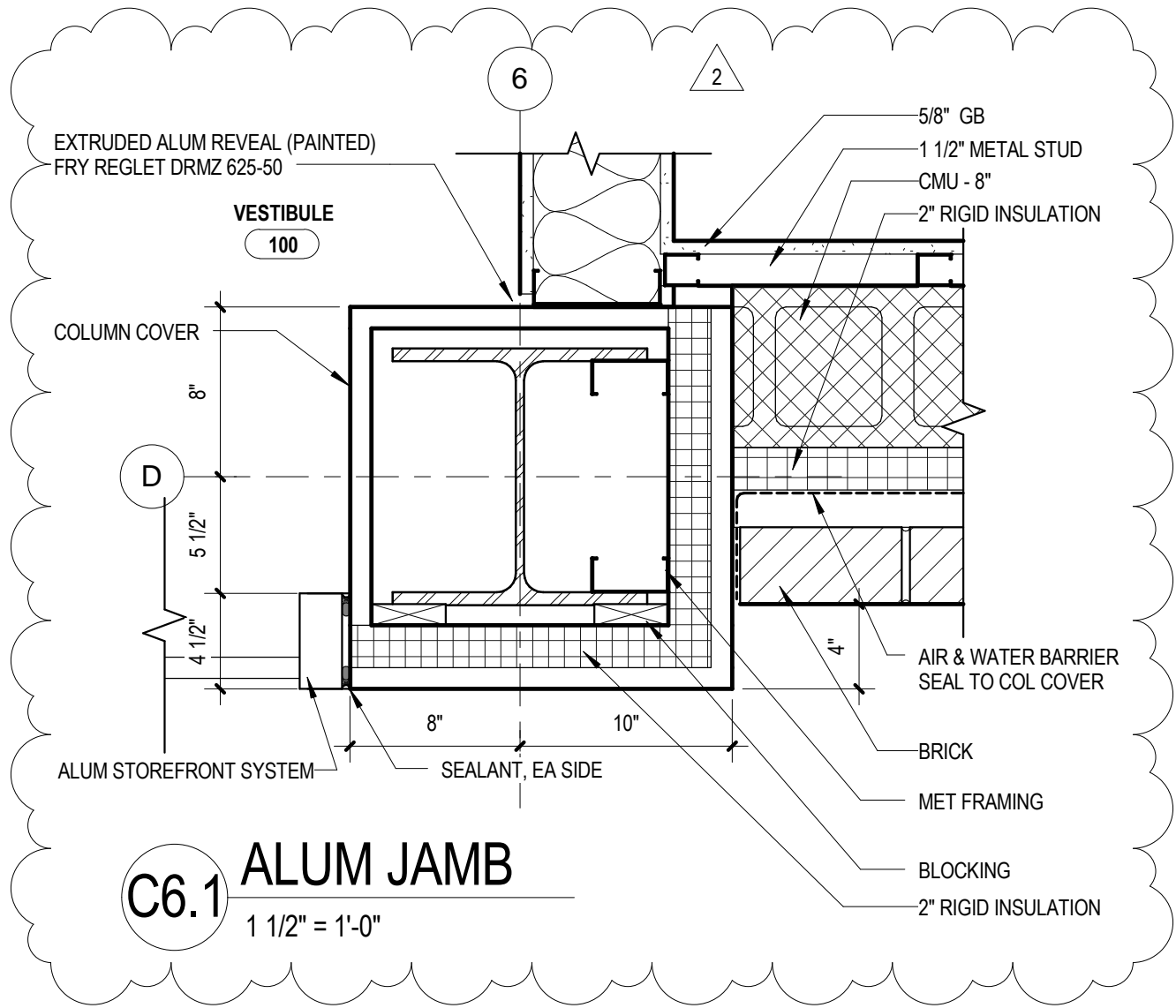
BRICK

AIRSPACE
 2" RIGID INSULATION

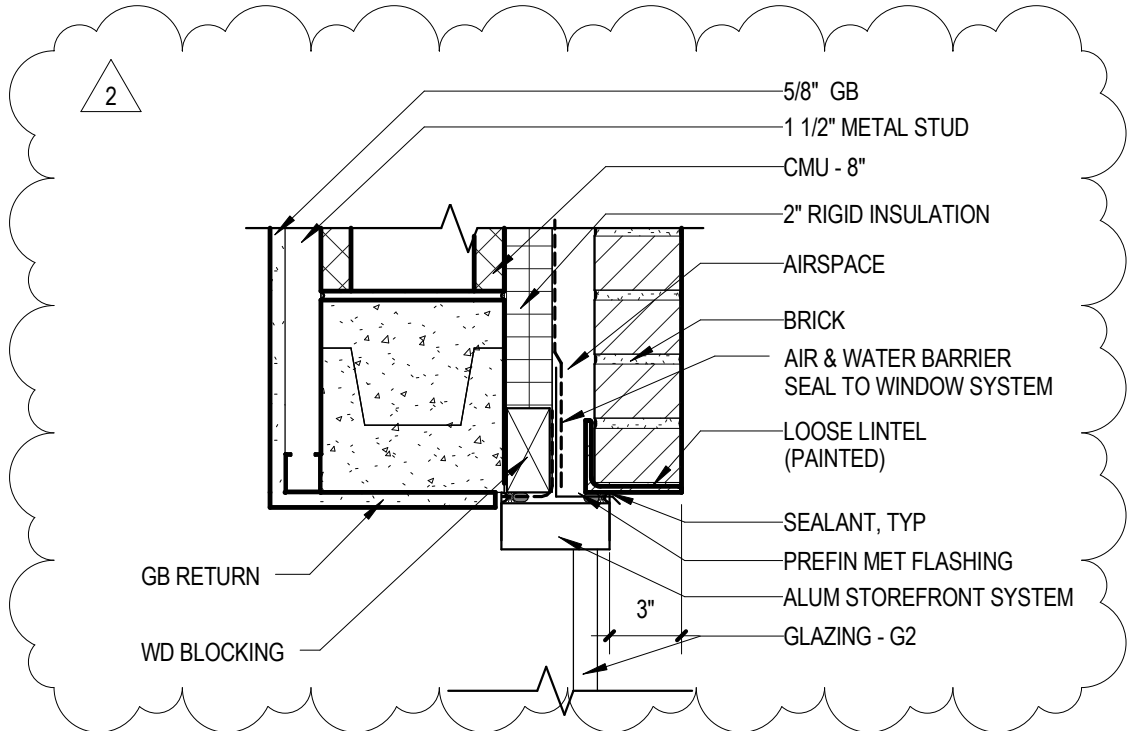
CMU - 8"

D4 WALL DETAIL
 1 1/2" = 1'-0"

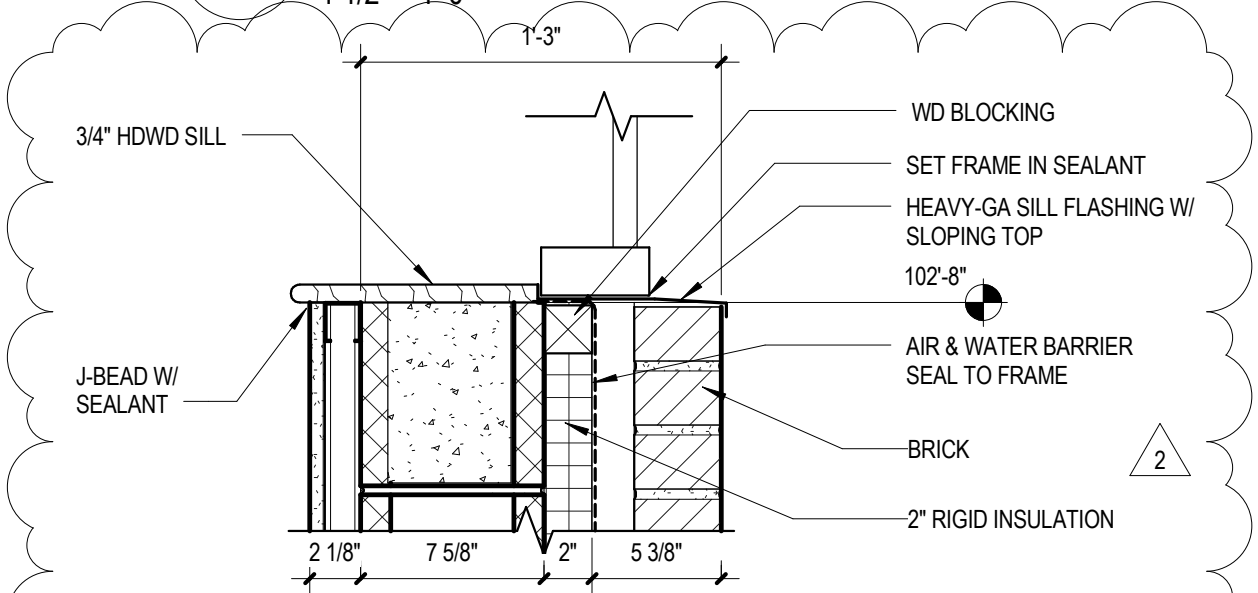
2



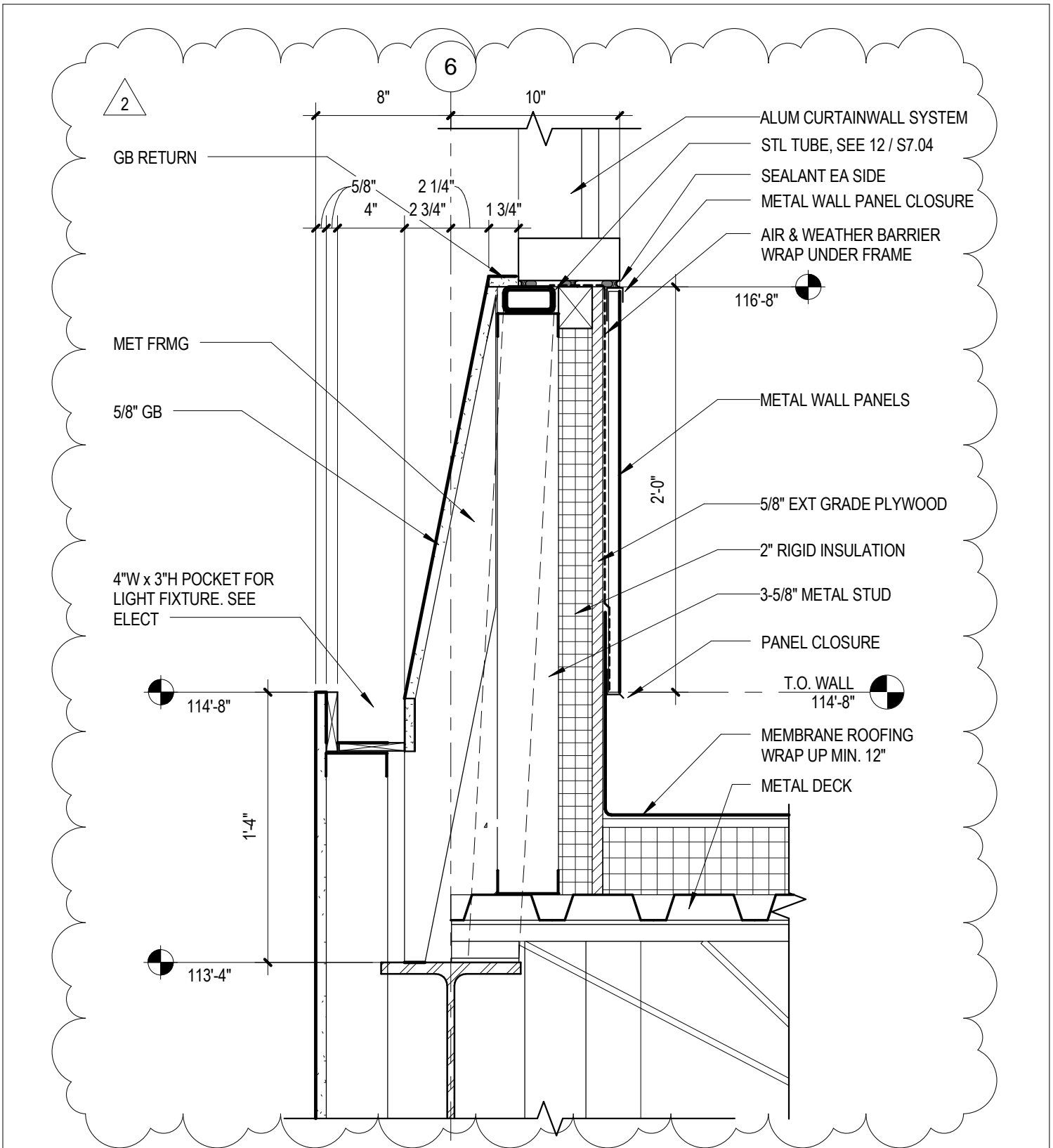
C6.1 ALUM JAMB
 1 1/2" = 1'-0"



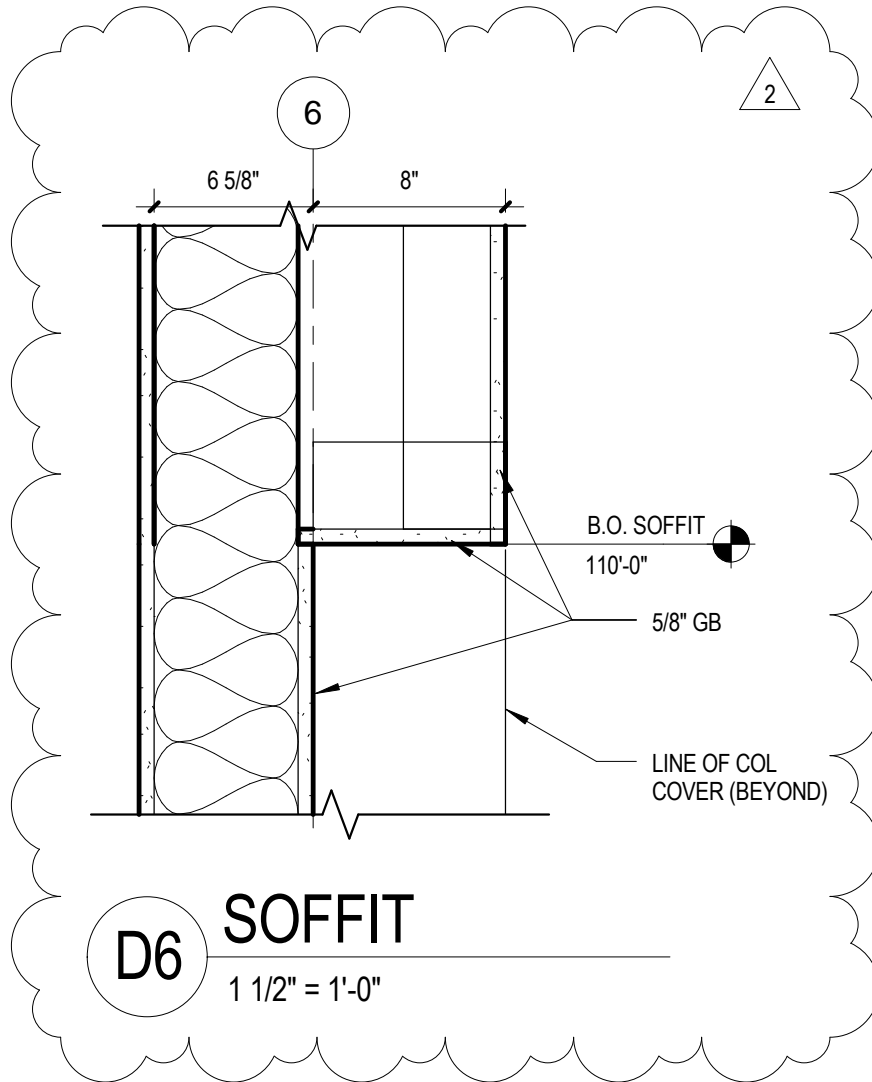
E6 DETAIL
 1 1/2" = 1'-0"



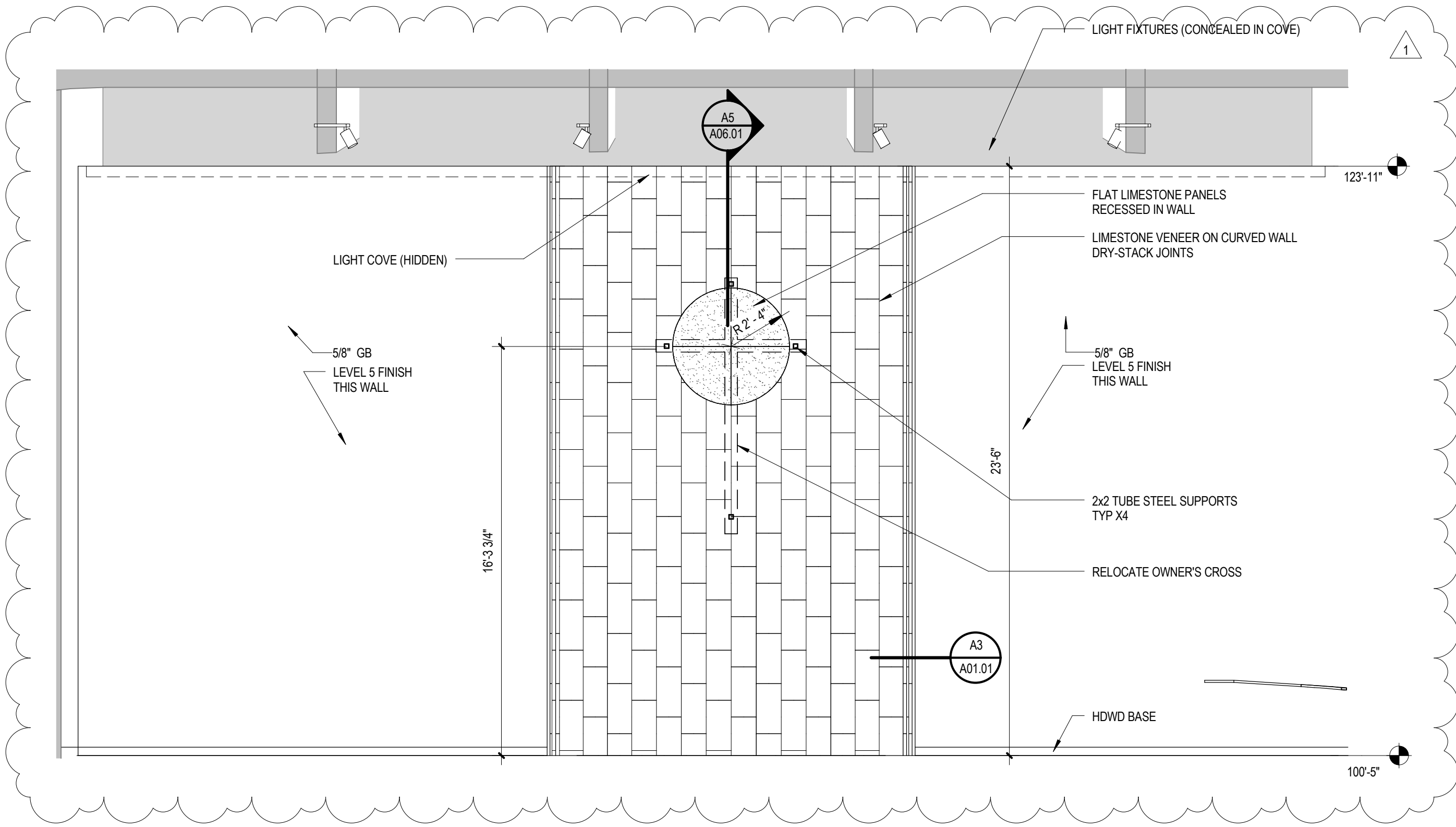
D6 DETAIL
 1, 1/2" = 1'-0"



C3 DETAIL
 1 1/2" = 1'-0"



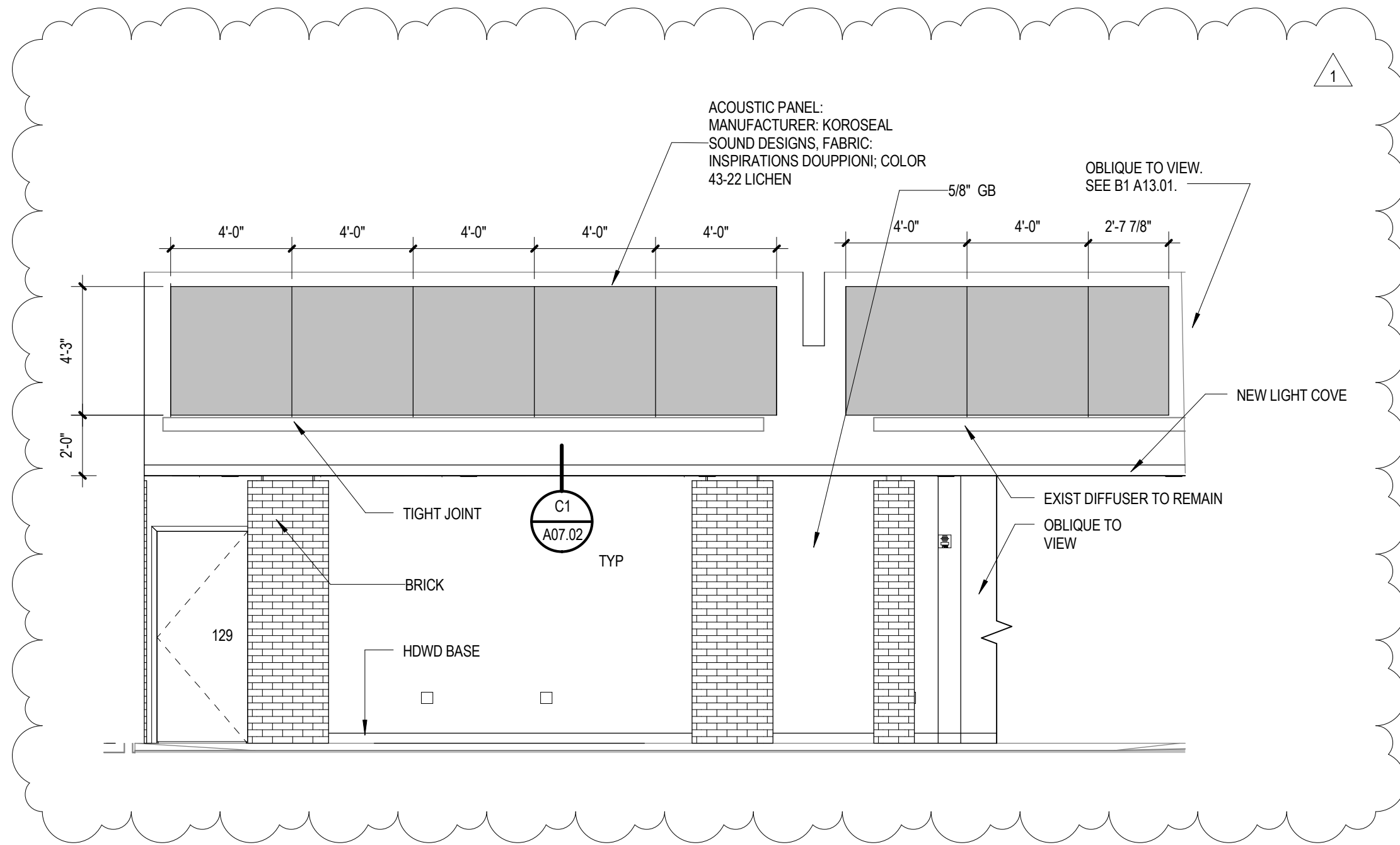
2



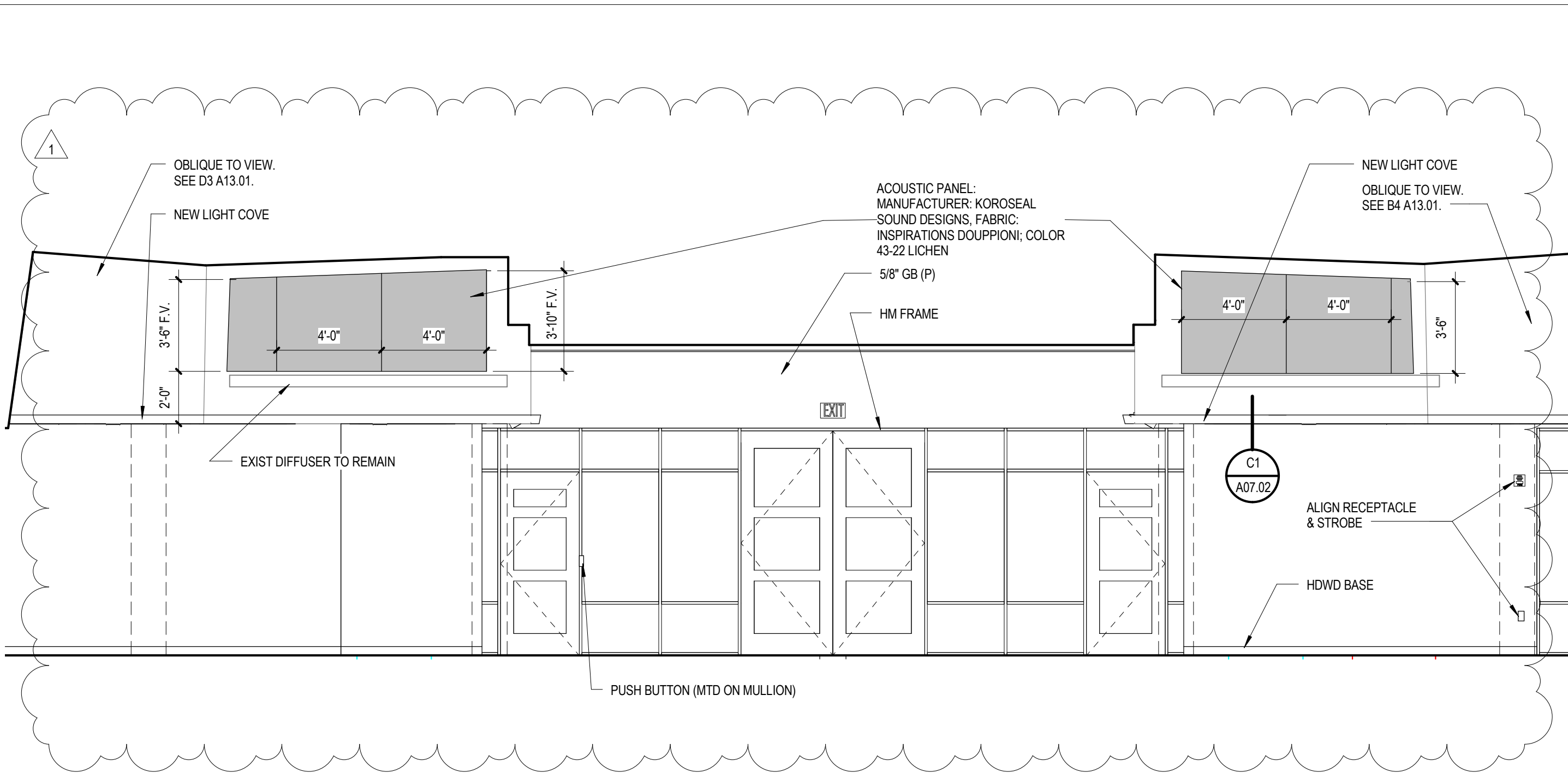
D1 INTERIOR ELEVATION 123N
 1/4" = 1'-0"

Project Number: 2013.203.01
 Date: 02/26/15
 Add to Sheet: A13.01
 Drawing: SDA-18
 St. James Catholic Church
 PHASE 1 RENOVATIONS AND ADDITIONS
 Addendum B





D3 INTERIOR ELEVATION 123E
1/4" = 1'-0"



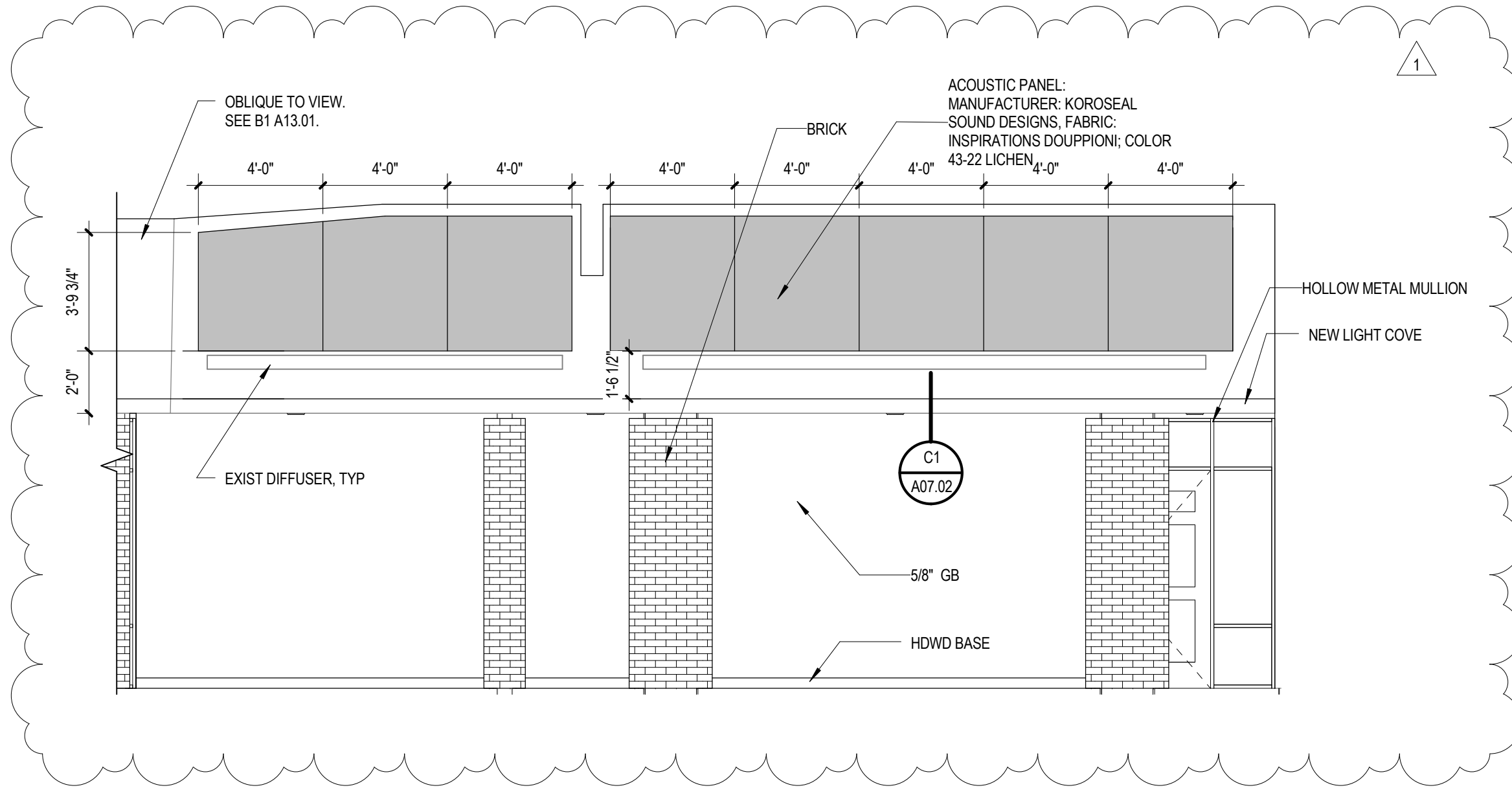
B1 INTERIOR ELEVATION 123S
 1/4" = 1'-0"

Project Number: 2013.203.01 | Date: 02/26/15 | Add to Sheet: A13.01 | Drawing: SDA-20

St. James Catholic Church
 PHASE 1 RENOVATIONS AND ADDITIONS

Addendum B





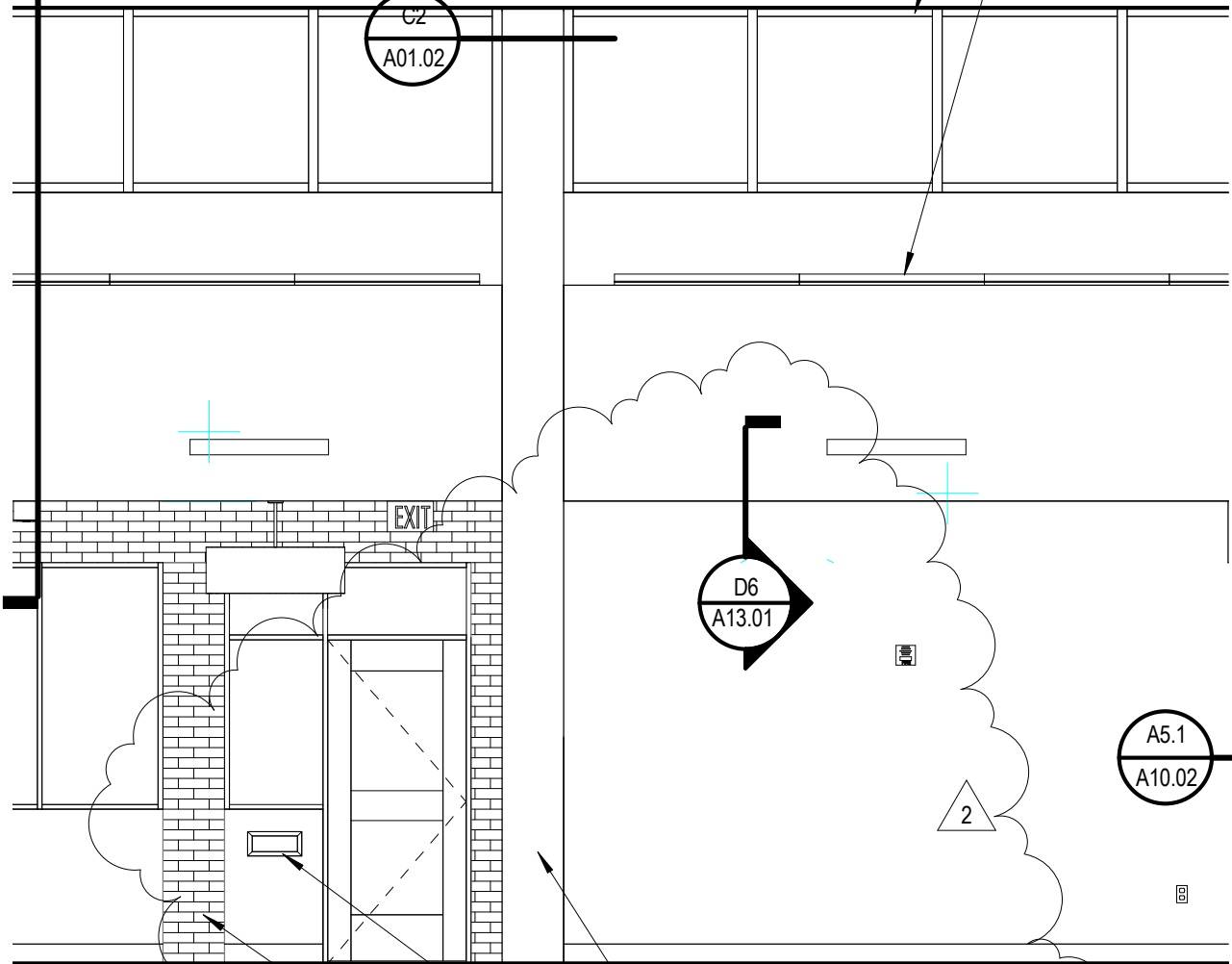
B4 INTERIOR ELEVATION 123W
1/4" = 1'-0"

C2
A07.02

C2
A01.02

ALUM CURTAINWALL SYSTEM

LIGHTS CONCEALED IN
LIGHT COVE, TYP



COL COVER
 NEW MAIL DROP
 SALSBUURY INDUSTRIES MODEL 2255SAN
 EXIST BRICK TO REMAIN

B1

INTERIOR ELEVATION 101E

1/4" = 1'-0"



Project Number:

2013.203.01

Date:

02/26/15

Change to Sheet:

A13.02

Drawing:

SDA-22

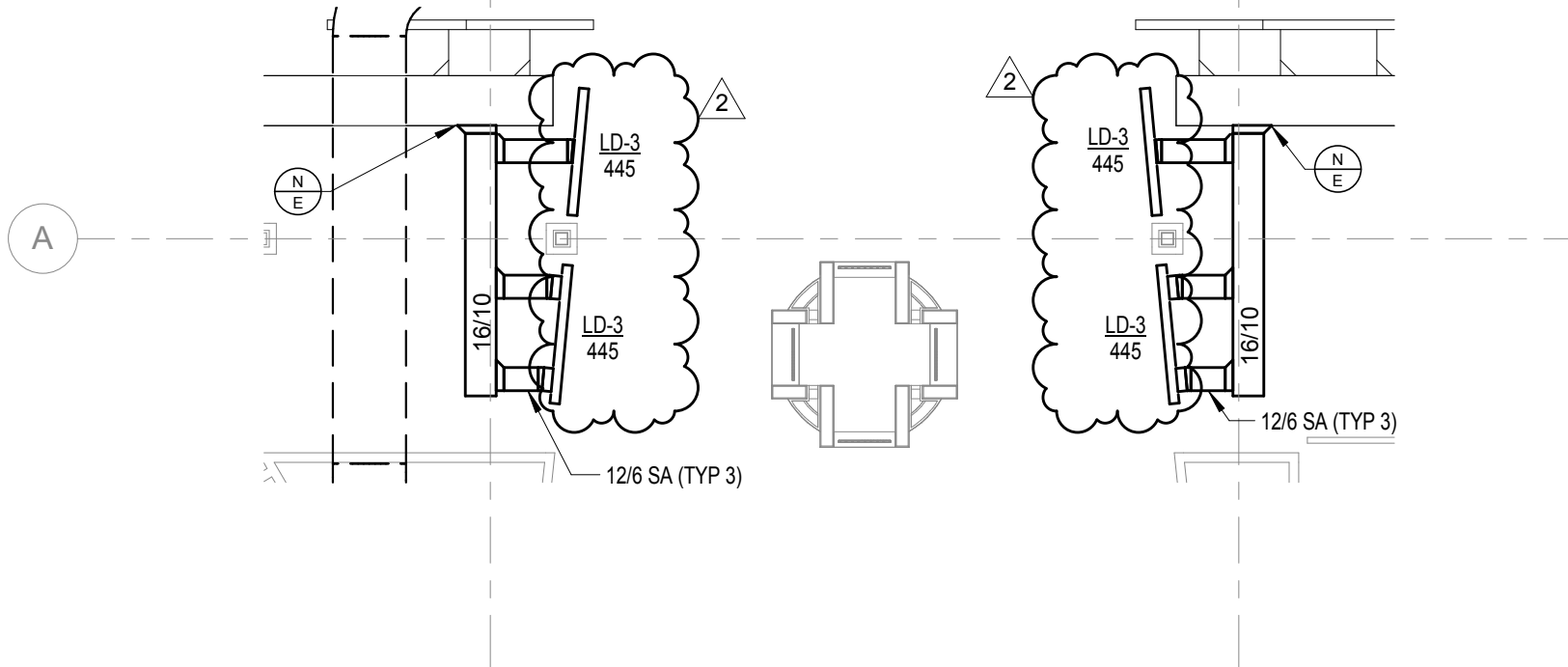
Addendum B

St. James Catholic Church

PHASE 1 RENOVATIONS AND ADDITIONS

FLAG NOTES

- 1 REBALANCE EXISTING LINEAR TO 895 CFM.
- 2 NOT USED.
- 3 PROVIDE (3) 6' LONG LINEAR GRILLES (LD-2). INSTALL LINEAR GRILLE VERTICALLY ALONG WALL STARTING AT FINISHED FLOOR.
- 4 PROVIDE (2) 108x10 RETURN AIR DUCTS UP IN WALL. TOP OF DUCT SHALL BE OPEN IN WALL. EXTEND DUCT DOWN THROUGH FLOOR 24" BELOW BOTTOM OF SLAB. TAP NEW 14"Ø DUCTS FROM EXISTING DUCT TO NEW DUCT.



ST. JAMES CATHOLIC CHURCH PHASE 1 RENOVATIONS & ADDITIONS

PROJECT NUMBER	DATE	DRAWING REFERENCED:	M02.01	SKETCH
20144450	02-25-2015	ADDENDUM NO.:	B	SDM-04

DiffuserRegisterGrille 11-29-06

DIFFUSER REGISTER AND GRILLE SCHEDULE

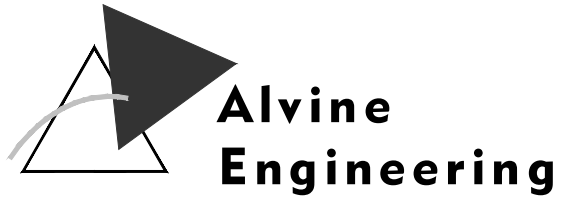
MARK	D-1	LD-1	LD-2	LD-3	R-1	G-1
DESCRIPTION	DIFFUSER	LINEAR	LINEAR	LINEAR	REGISTER	GRILLE
DEFLECTION	4-WAY	-	-	-	SINGLE	PERFORATED
MAXIMUM STATIC PRESSURE (IN W.G.)	0.10	0.10	0.10	0.10	0.10	0.10
CONSTRUCTION MATERIAL	STEEL	ALUMINUM	STEEL	STEEL	STEEL	STEEL
FINISH	WHITE	WHITE	(4)	WHITE	WHITE	WHITE
FACE SIZE (IN)	24x24	36" LONG	24' LONG	60" LONG	10x6	24x24
MANUFACTURER	KRUEGER	KRUEGER	KRUEGER	KRUEGER	KRUEGER	KRUEGER
MODEL NUMBER	PLQ	1950	1915	1950	80H	6490
ACCESSORIES	-	O.B.D.	-	O.B.D.	-	-
REMARKS	(1)	(2)	(3)	(2)	(1)	(1)

REMARKS:

- (1) CONTRACTOR SHALL VERIFY CEILING CONSTRUCTION PRIOR TO FURNISHING MATERIAL.
- (2) FRAME STYLE C, 1/2" SLOT, 2 SLOT.
- (3) FRAME STYLE B, 1 1/2" SLOT, 2 SLOT.
- (4) PROVIDE PAINTABLE FINISH.

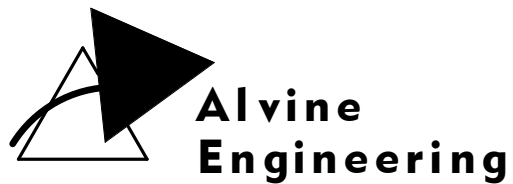
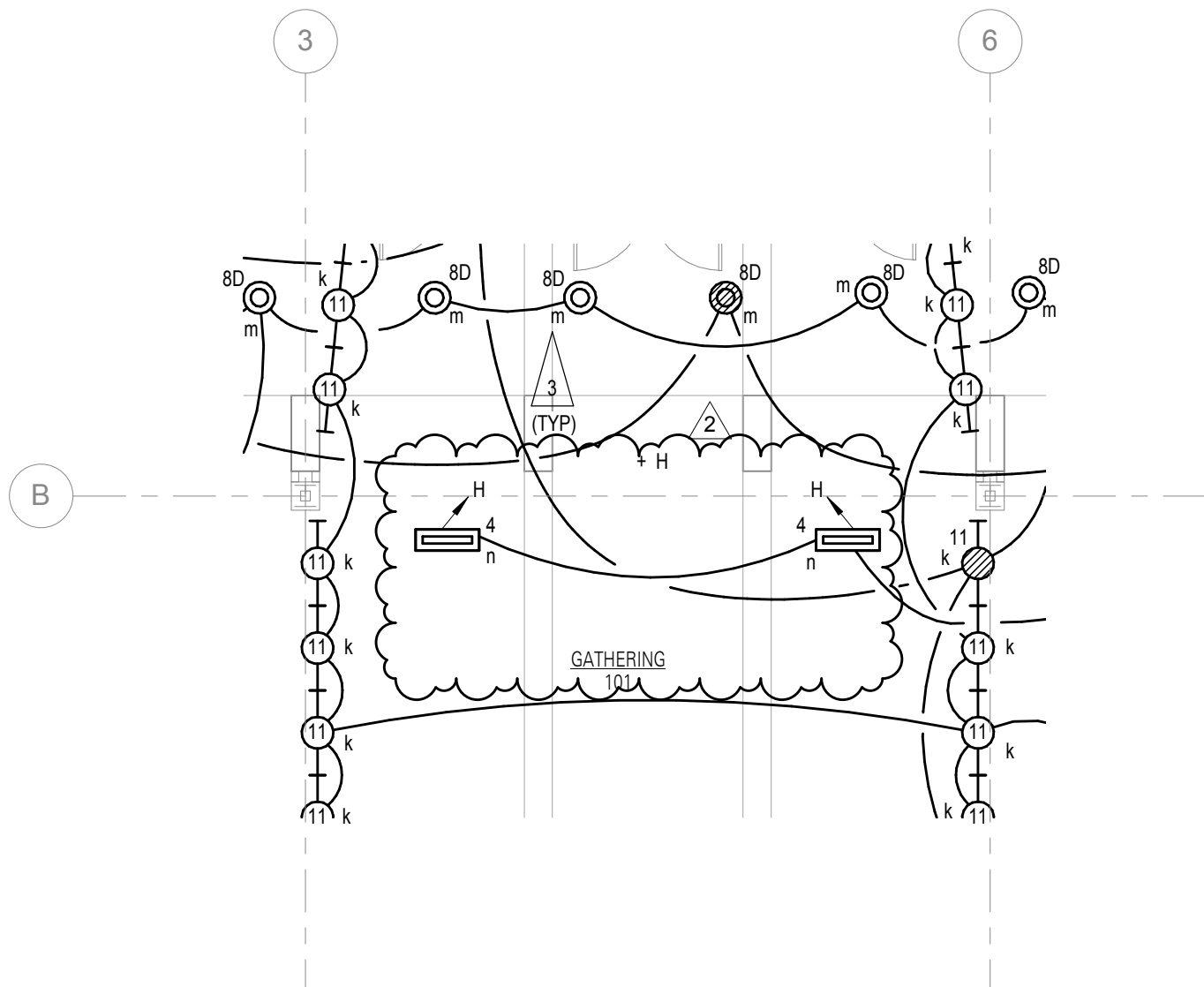


(4)



ST. JAMES CATHOLIC CHURCH PHASE 1 RENOVATIONS & ADDITIONS

PROJECT NO. 20144450	DATE 02-25-2015	DRAWING REFERENCED: M05.01	SKETCH SDM-05
		ADDENDUM NO.: B	



ST. JAMES CATHOLIC CHURCH PHASE 1 RENOVATIONS & ADDITIONS

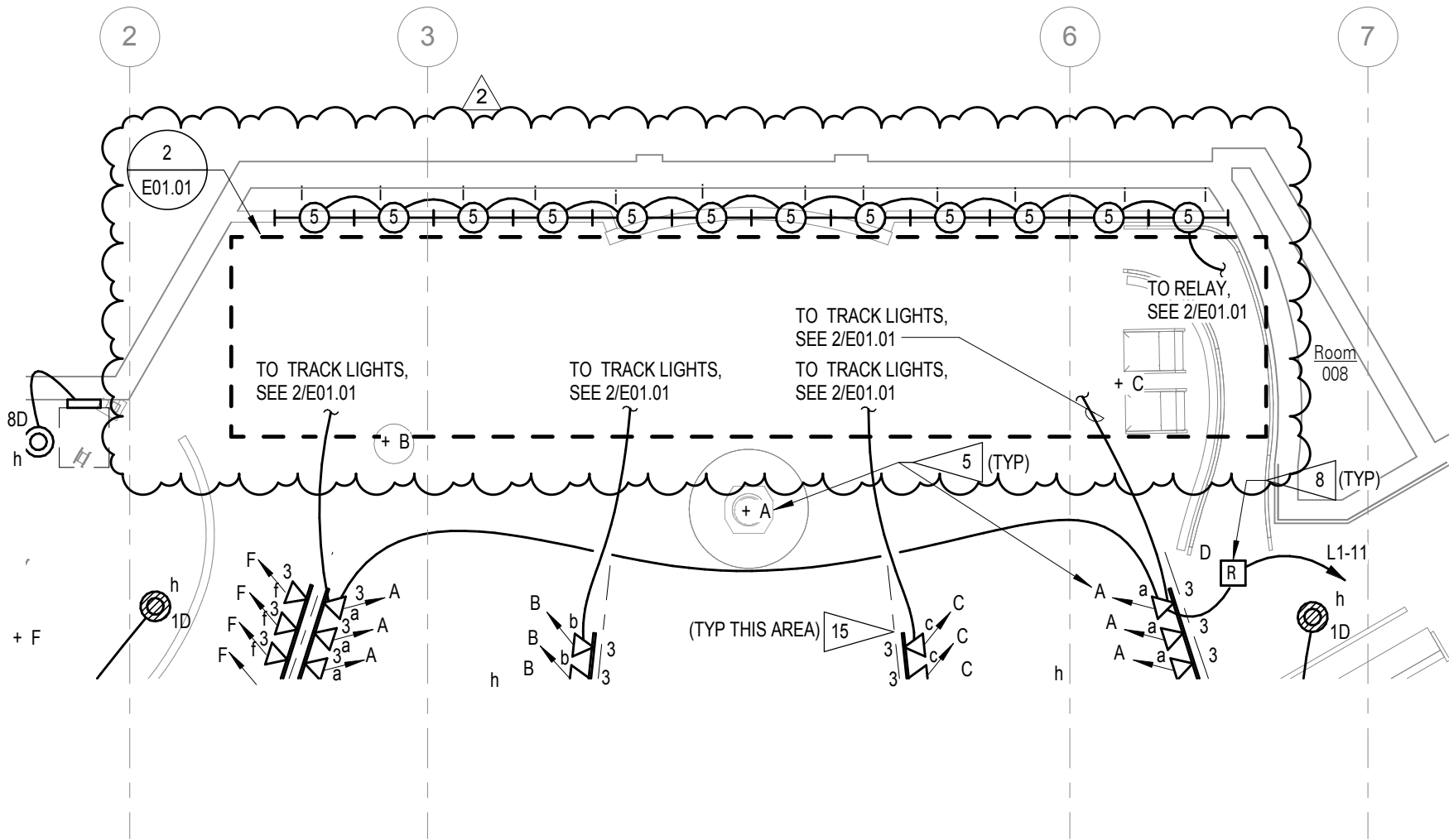
PROJECT NUMBER
20144450

DATE
02-24-2015

DRAWING REFERENCED:
ADDENDUM NO.:

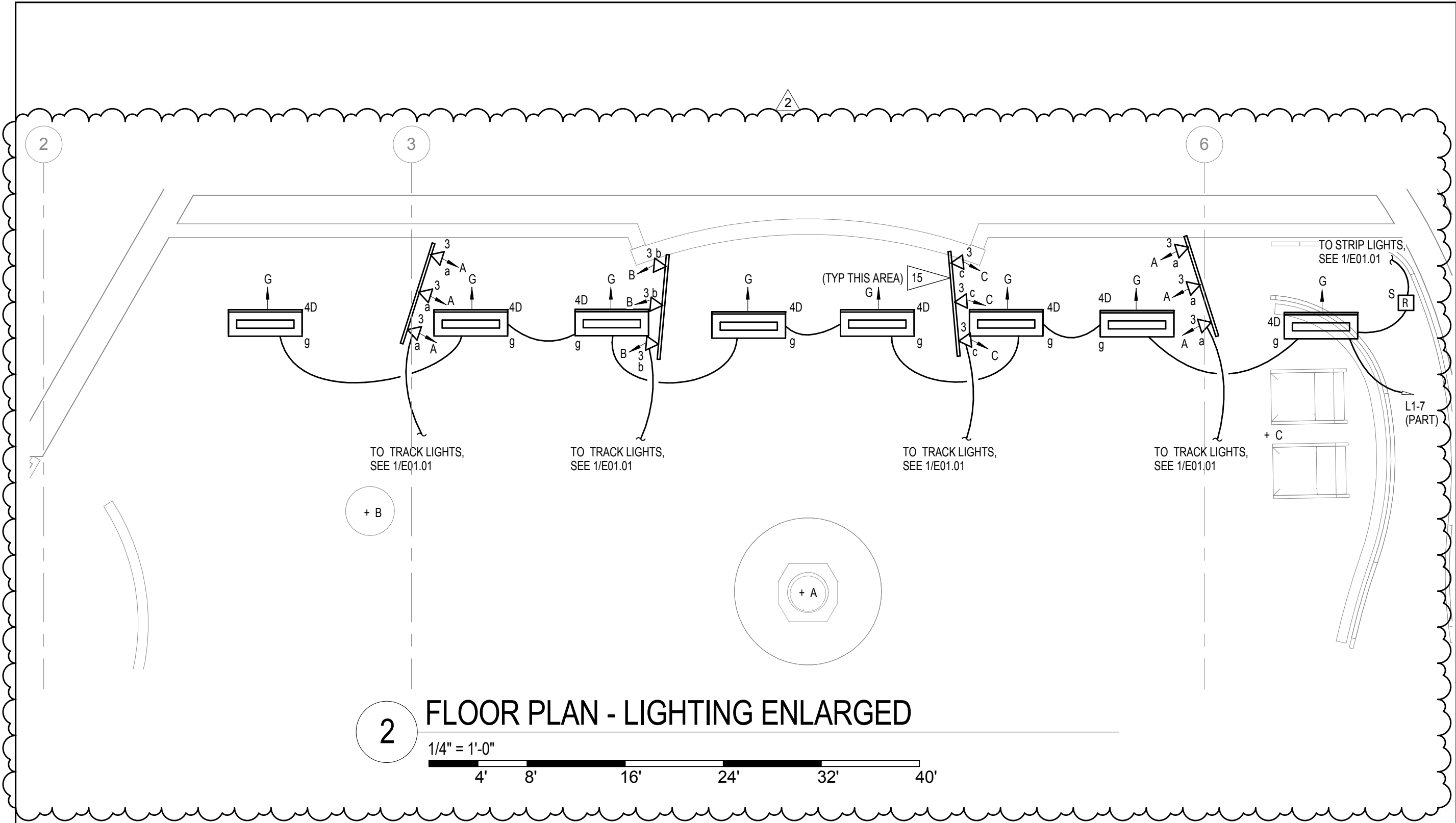
E01.01
B

SKETCH
SDE-04



ST. JAMES CATHOLIC CHURCH PHASE 1 RENOVATIONS & ADDITIONS

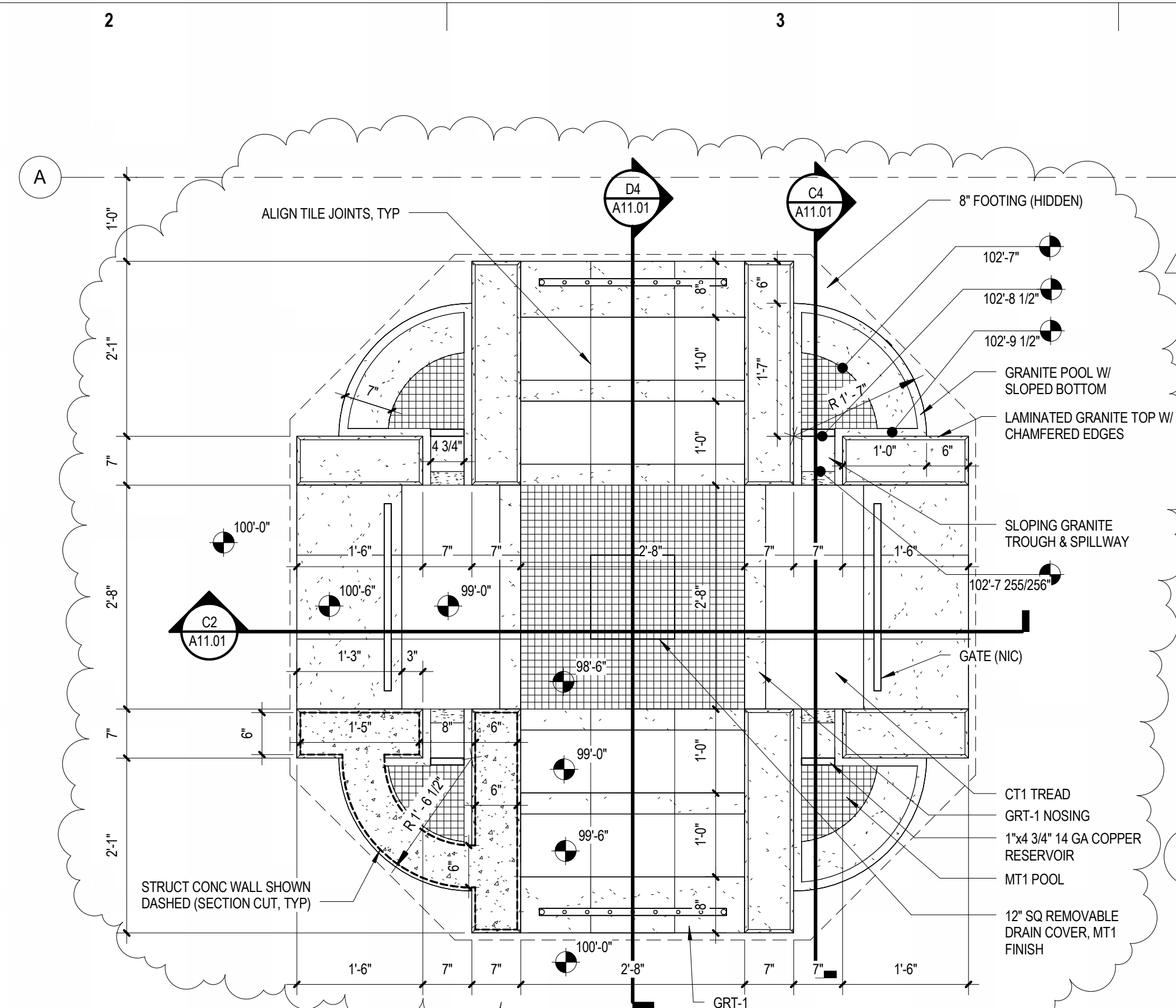
PROJECT NUMBER	DATE	DRAWING REFERENCED:	E01.01	SKETCH
20144450	02-24-2015	ADDENDUM NO.:	B	SDE-05



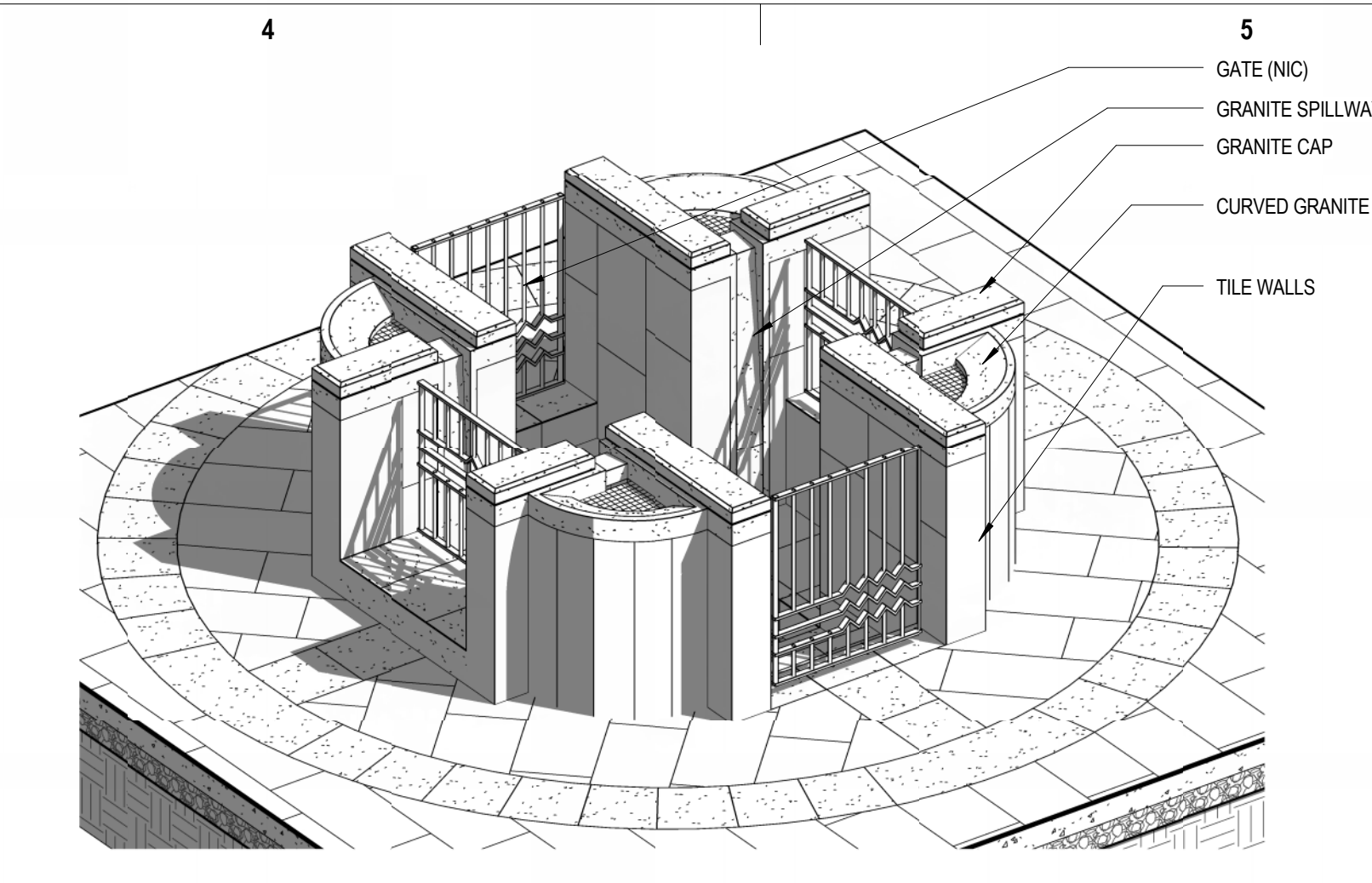
2 FLOOR PLAN - LIGHTING ENLARGED
 1/4" = 1'-0"
 4' 8' 16' 24' 32' 40'

ST. JAMES CATHOLIC CHURCH PHASE 1 RENOVATIONS & ADDITIONS		PROJECT NUMBER	20144450
DRAWING REFERENCED:		DATE	02-24-2015
E01.01	B	PROJECT NUMBER	20144450
SKETCH	SDE-06	DATE	02-24-2015
ADDENDUM NO.:		PROJECT NUMBER	20144450

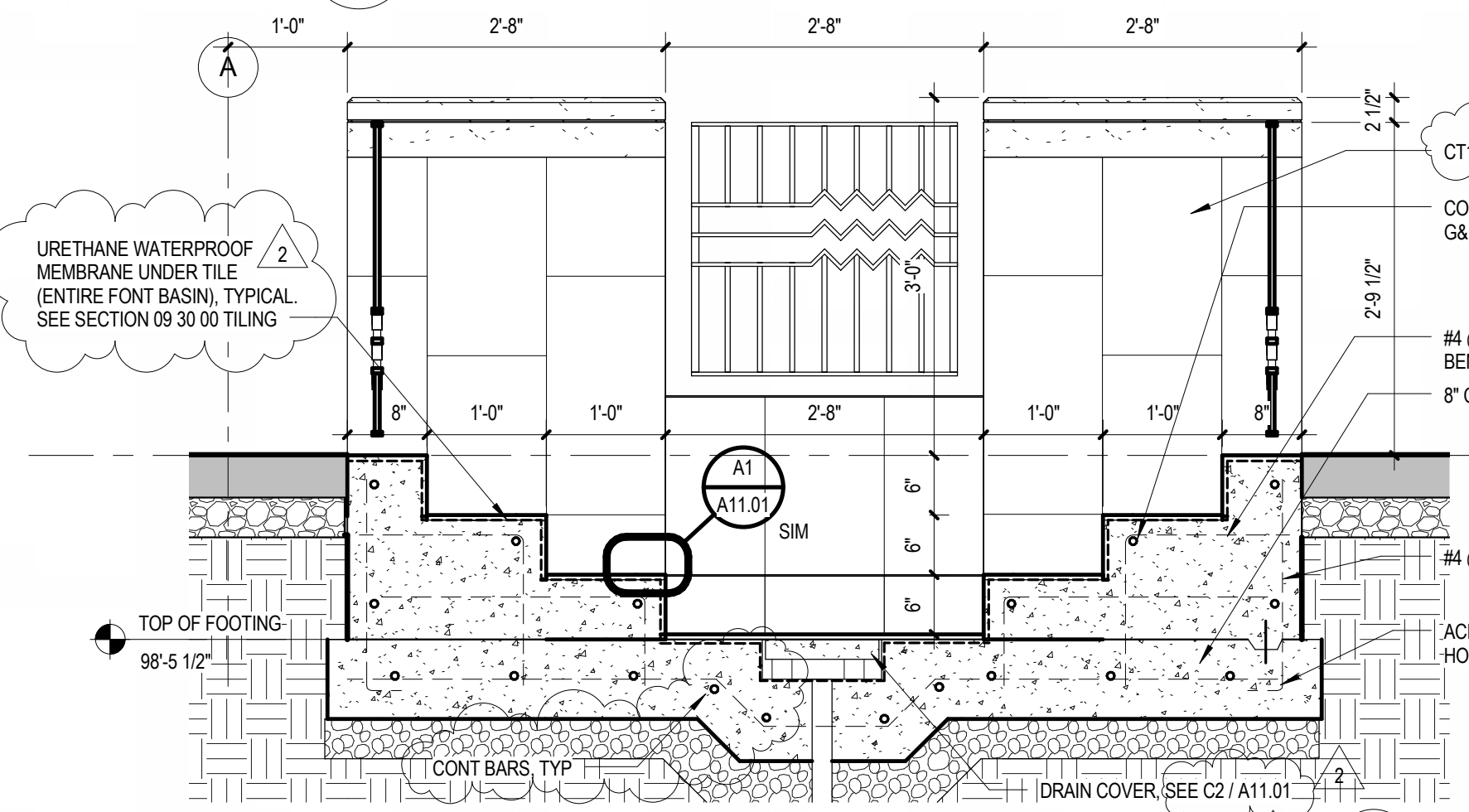
Alvine Engineering



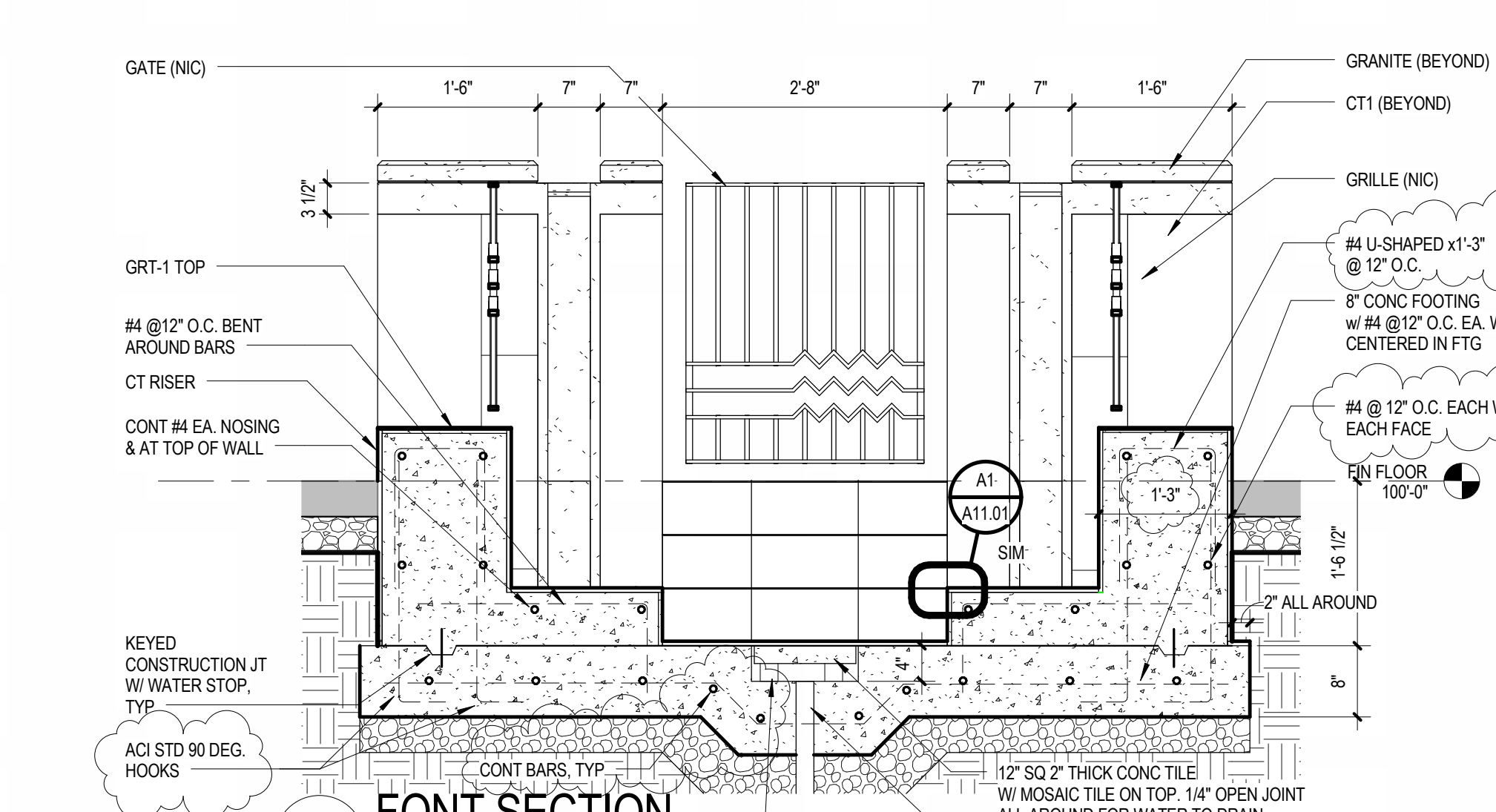
D2 FONT PLAN
3/4" = 1'-0"



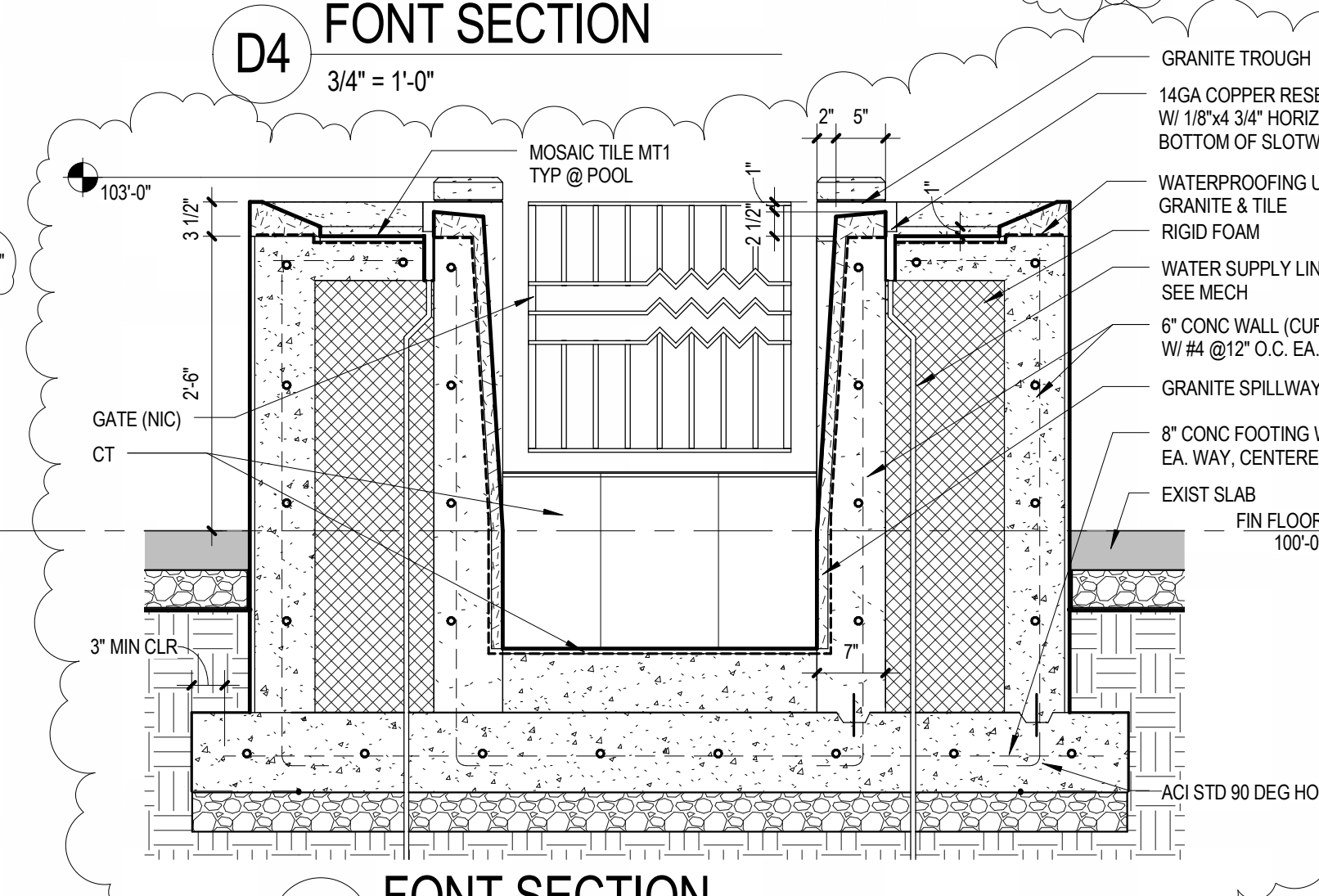
E4 FONT VIEW
3/4" = 1'-0"



D4 FONT SECTION
3/4" = 1'-0"



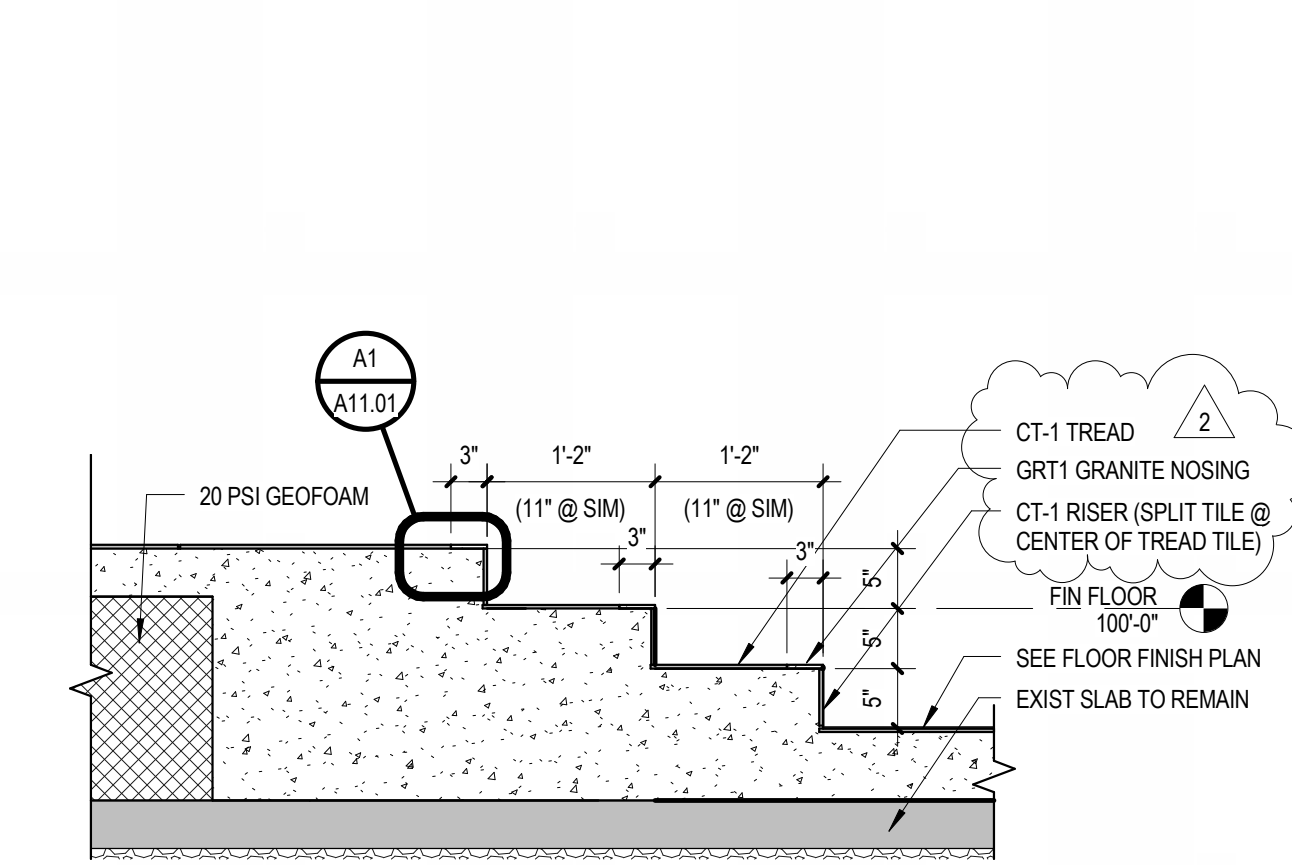
C2 FONT SECTION
3/4" = 1'-0"



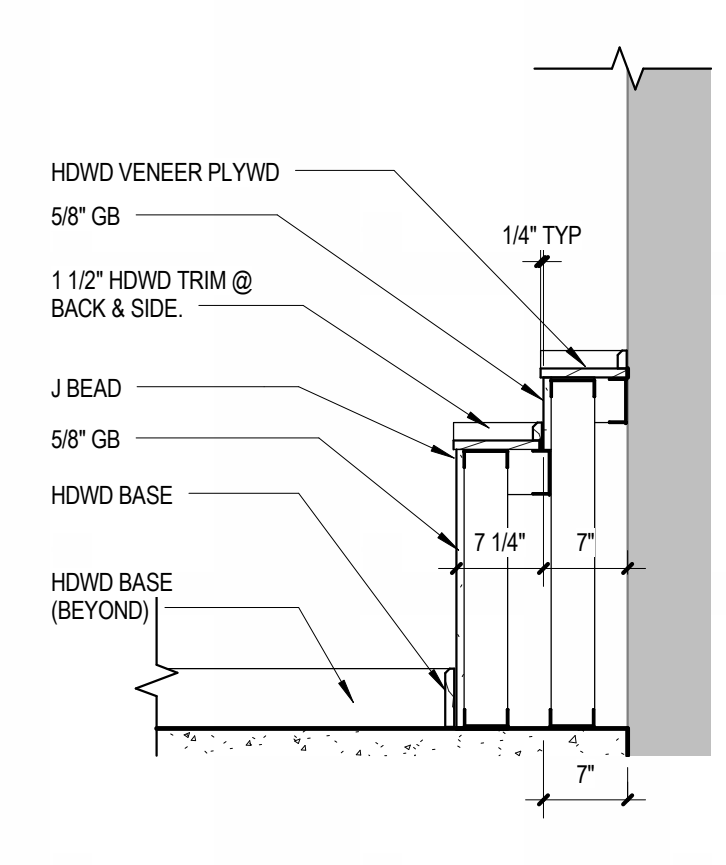
C4 FONT SECTION
3/4" = 1'-0"

FINISH MATERIAL SCHEDULE

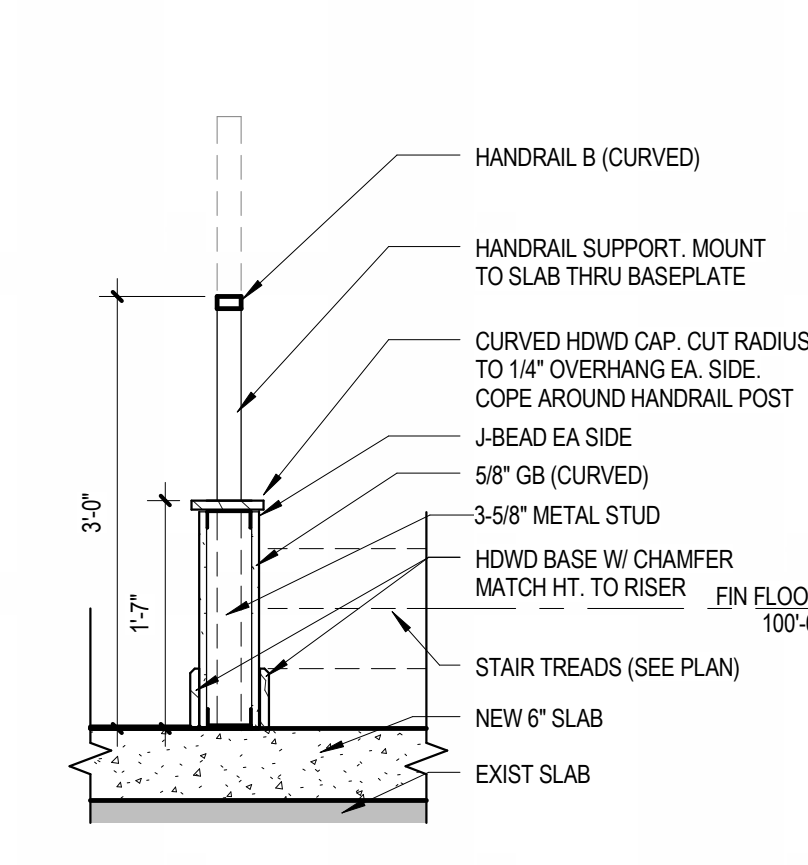
- CARPET**
CPT1: (TILE)
COMBINATION OF CPT2 AND CPT3 (EQUAL QUANTITIES). SEE PATTERN ON SHEET A11.01.
- CPT2: (TILE)**
MANUFACTURER: SHAW; STYLE: PLAIN WEAVE ST098; COLOR: KADAI 760; INSTALLATION: MONOLITHIC (SEE FINISH PLAN FOR DIRECTION).
- CPT3: (TILE)**
MANUFACTURER: SHAW; STYLE: MATMEE ST101; COLOR: KADAI 760; INSTALLATION: MONOLITHIC (SEE FINISH PLAN FOR DIRECTION).
- CPT4: (TILE; ALTERNATE IN NURSERY/PRESCHOOL 134)**
MANUFACTURER: SHAW; STYLE: GLIMMER 59329; COLOR: GLOSS 27761; INSTALLATION: MONOLITHIC.
- CPT5: (TILE)**
MANUFACTURER: SHAW; STYLE: ENTREE; COLOR: #31549 CHARCOAL.
- CERAMIC TILE**
CT1:
MANUFACTURER: ASCOT; STYLE: ATHENA; COLOR: PEARL; SIZE: 12" X 24" ASHLAR INSTALL WITH OFFSET OF 8" SEE FINISH PLAN AS SOME SIZES VARY.
- CT2: (RESTROOM FLOORS, WALLS AND BASE)**
MANUFACTURER: KATE-LO TILE; STYLE: A1108; COLOR: SEA OTTER; SIZE: 12" X 12"; SEE FINISH PLAN FOR LAYOUT (SHEET A11.01).
- CT3: (RESTROOM WALLS)**
MANUFACTURER: KATE-LO TILE; STYLE: A1101; COLOR: SANDBOX; SIZE: 12" X 12"; SEE ELEVATION NOTE: PROVIDE BULLNOSE TRIM ON ALL OUTSIDE EDGE PIECES.
- MOSAIC TILE:**
MT1: (FONT FLOOR) LAGOON
- GROUT:**
GT1: (FOR ASCOT PRODUCT)
MANUFACTURER: TEX POWER GROUT; COLOR: 949 SILVERADO; GROUT JOINT: 1/16"
- GT2: (RESTROOM FLOOR)**
MANUFACTURER: TEC; COLOR: 973 WARM TALPE; GROUT JOINT: 1/16"
- GT3: (RESTROOM WALL)**
MANUFACTURER: TEC; COLOR: 988 PEARL; GROUT JOINT: 1/16"
- GT4: (MOSAIC FLOOR)**
MANUFACTURER: TEC; GROUT; COLOR: 929 CHARCOAL GRAY
- GRANITE & FLOOR**
GRT1: IMPALA BLACK G701
- SHEET VINYL**
SV1: (WORK 115)
MANUFACTURER: MOHAWK GROUP; STYLE: SHIKUMEN C0005; COLOR: 132 MANTRA
- RUBBER BASE**
RB1:
MANUFACTURER: BURKE; COLOR: 523 BLACKBROWN
- HARDWOOD BASE**
SOLID RED OAK STAINED WOOD BASE; COLOR: TO MATCH STAIN OF WOOD DOORS; SIZE: 3/4" THICK, 4 1/2" HEIGHT; FINISH: SEMI-GLOSS
- PAINT**
NOTE: ALL SPECIFIED PAINT IS FOR COLOR ONLY. SHEEN SHALL BE FLAT FOR CEILINGS; EGGSHELL FOR TYPICAL WALLS; AND SEMI-GLOSS FOR HM FRAMES. PROVIDE SEMI-GLOSS AT RESTROOM WALLS. DO NOT PAINT FACTORY FINISHED/PAINTED ITEMS WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.
P1: SHERWIN WILLIAMS SW7044 AMAZING GRAY
P2: SHERWIN WILLIAMS SW7048 URBANE BRONZE (HM DOOR FRAMES)
P3: SHERWIN WILLIAMS SW7032 WARM STONE
P4: SHERWIN WILLIAMS SW7637 OYSTER WHITE (RESTROOMS)
P5: SHERWIN WILLIAMS SW7178 OAK CREEK (ACCENT WALL)
P6: SHERWIN WILLIAMS SW7007 CEILING BRIGHT WHITE (GB CEILINGS & PROJECTION WALL)
- VINYL WALLCOVERING**
VWC-1: MANUFACTURER: DL COUCH; NILEVINTEXTURE TRV17-15; COLOR: BASIN
VWC-2: MANUFACTURER: WALLTALKERS; STYLE: MAG-RITE II; COLOR: WHITE
- PLASTIC LAMINATE**
PLAM1: (ALL VERTICAL SURFACES ON CASEWORK)
MANUFACTURER: FORMICA; STYLE: NATURAL TEAK; FINISH: MATTE
PLAM2: (HORIZONTAL SURFACES)
MANUFACTURER: PIONITE; STYLE: PFAS4 SUEDE; STREETS OF SAN FRANCISCO
- SOLID SURFACE MATERIAL**
SSM1: (GENERAL COUNTERTOP)
MANUFACTURER: ZODIAC; COLOR: COARSE PEPPER
- ACOUSTIC WALL PANEL**
AWP-1: MANUFACTURER: KOROSEAL SOUND DESIGNS; STYLE: PFAS4 SUEDE; STREETS OF SAN FRANCISCO
- ACOUSTIC PANEL CEILING**
APC-1: MINERAL FIBER PANEL, NRC 0.70
USG MARS CLIMAPLUS SQUARE EDGE & 15/16" CEILING GRID
APPROVED SUBSTITUTION: CERTAIN TEED SYMPHONY M
APC-2: MINERAL FIBER PANEL, NRC 0.70
USG MARS W/ FLB TEGULAR EDGE & FINELINE GRID DXF
APPROVED SUBSTITUTION: CERTAIN TEED SYMPHONY M



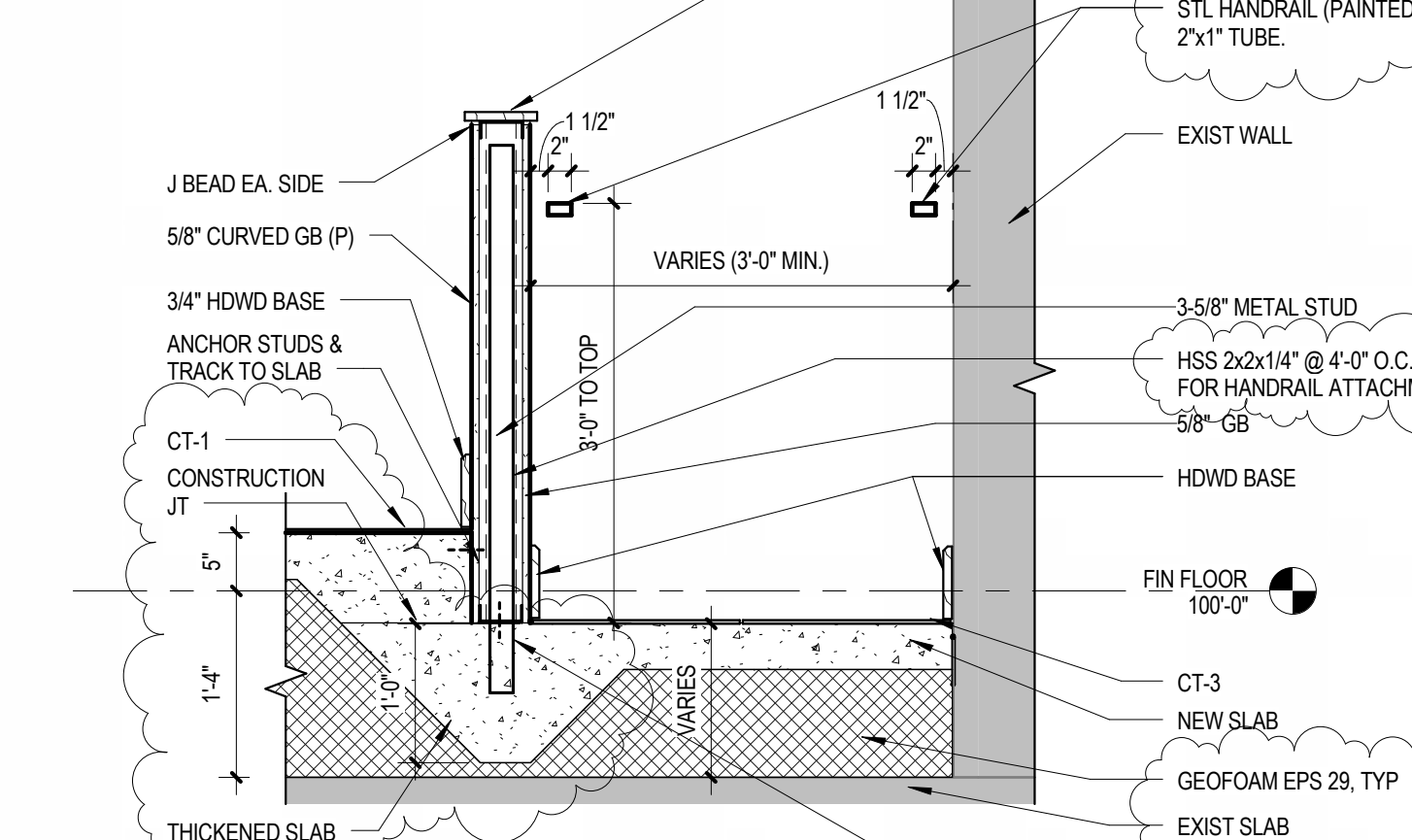
B1 STEPS
3/4" = 1'-0"



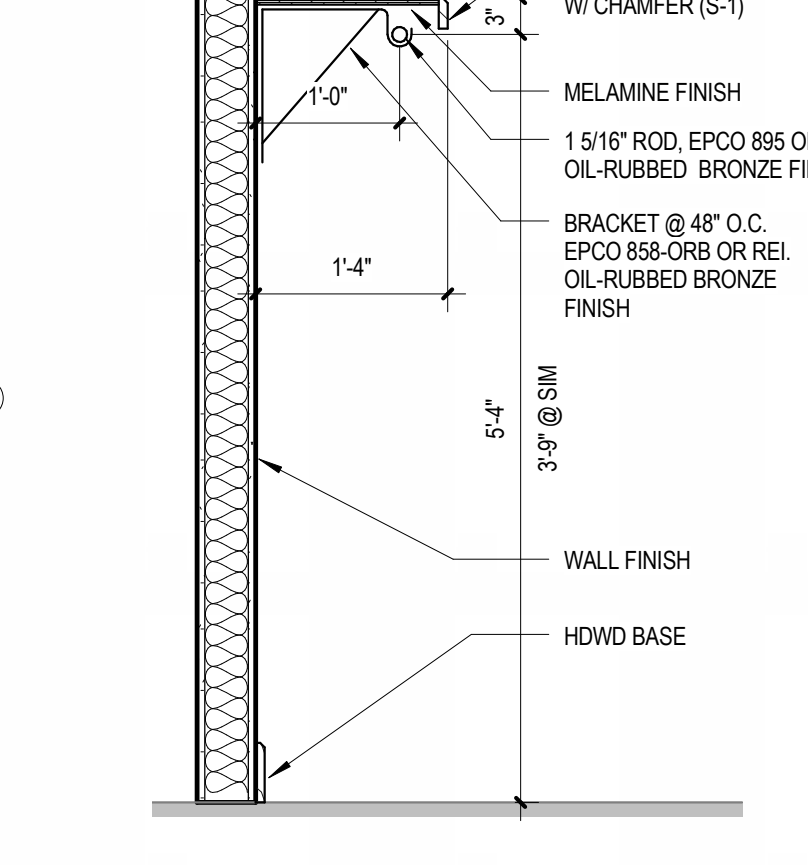
B3 DETAIL
3/4" = 1'-0"



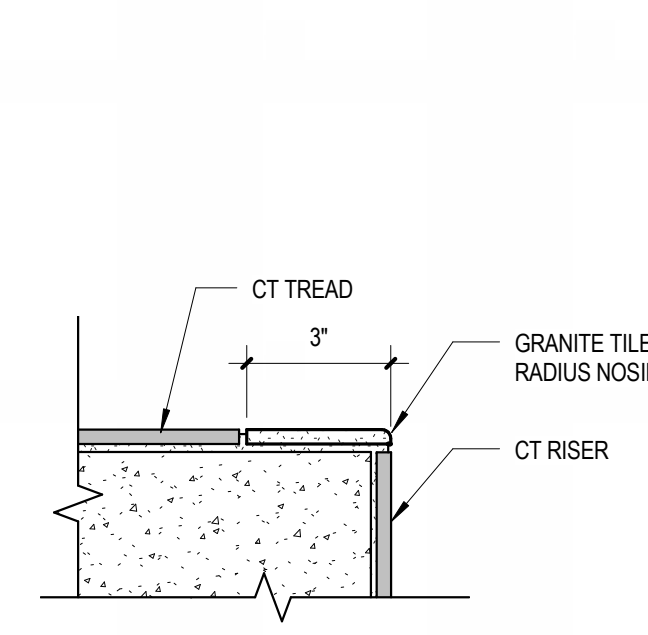
B4 CHOIR WALL
3/4" = 1'-0"



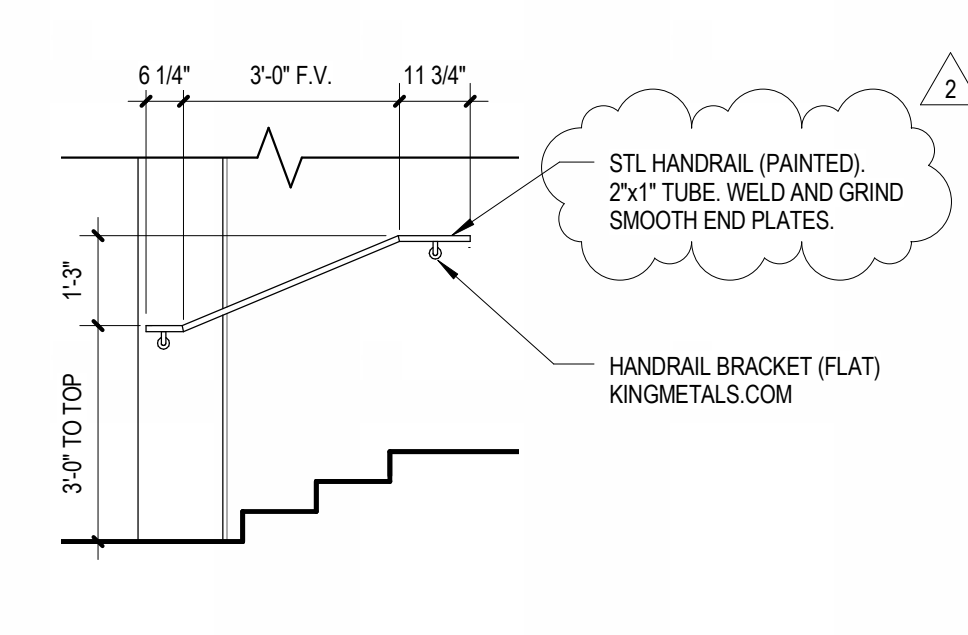
B5 RAMP SECTION
3/4" = 1'-0"



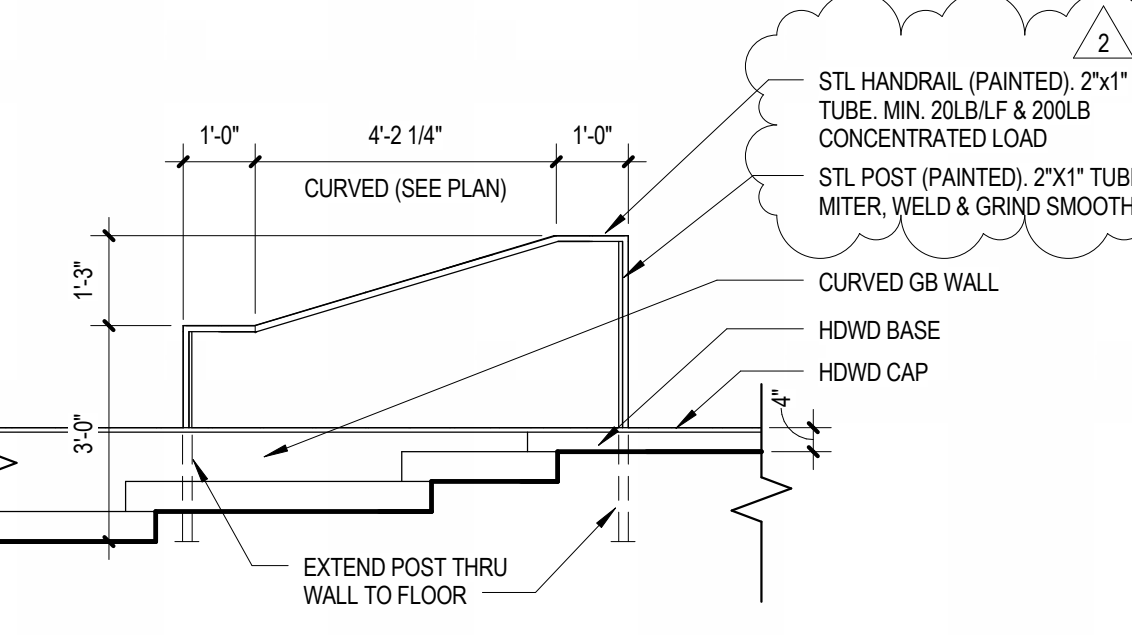
B6 COAT ROD & SHELF
3/4" = 1'-0"



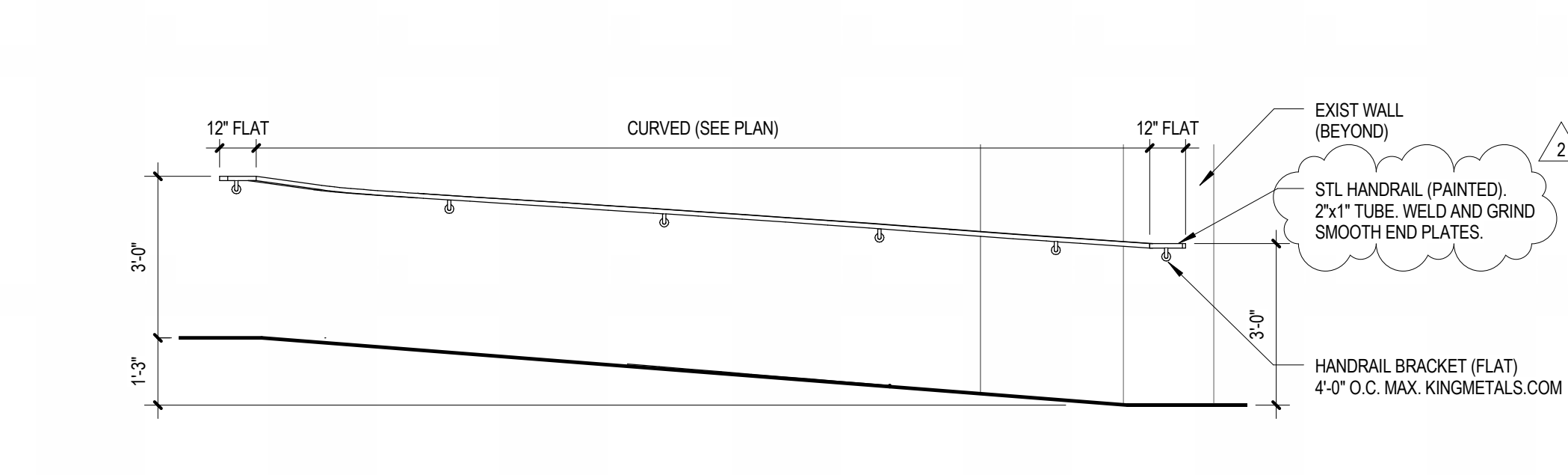
A1 NOSING
3" = 1'-0"



A3 HANDRAIL A
3/8" = 1'-0"



A4 HANDRAIL B
3/8" = 1'-0"



A5 HANDRAILS C & D
3/8" = 1'-0"

PHASE 1 RENOVATIONS AND ADDITIONS

CONSTRUCTION DOCUMENTS

RDG... DESIGN

ARCHITECT
RDG Planning & Design
1000 Exchange Street
Portland, ME 04102
(409) 233-0111

STRUCTURAL
RDG Planning & Design
1000 Exchange Street
Portland, ME 04102
(409) 233-0111

MECH/ELEC/PLUMB
RDG Planning & Design
1000 Exchange Street
Portland, ME 04102
(409) 233-0111

St. James Catholic Church
3801 Avenue A
Kearney, NE 68847

REV	DATE	DESCRIPTION
1	2/18/2015	ADD A
2	2/25/2015	ADD B

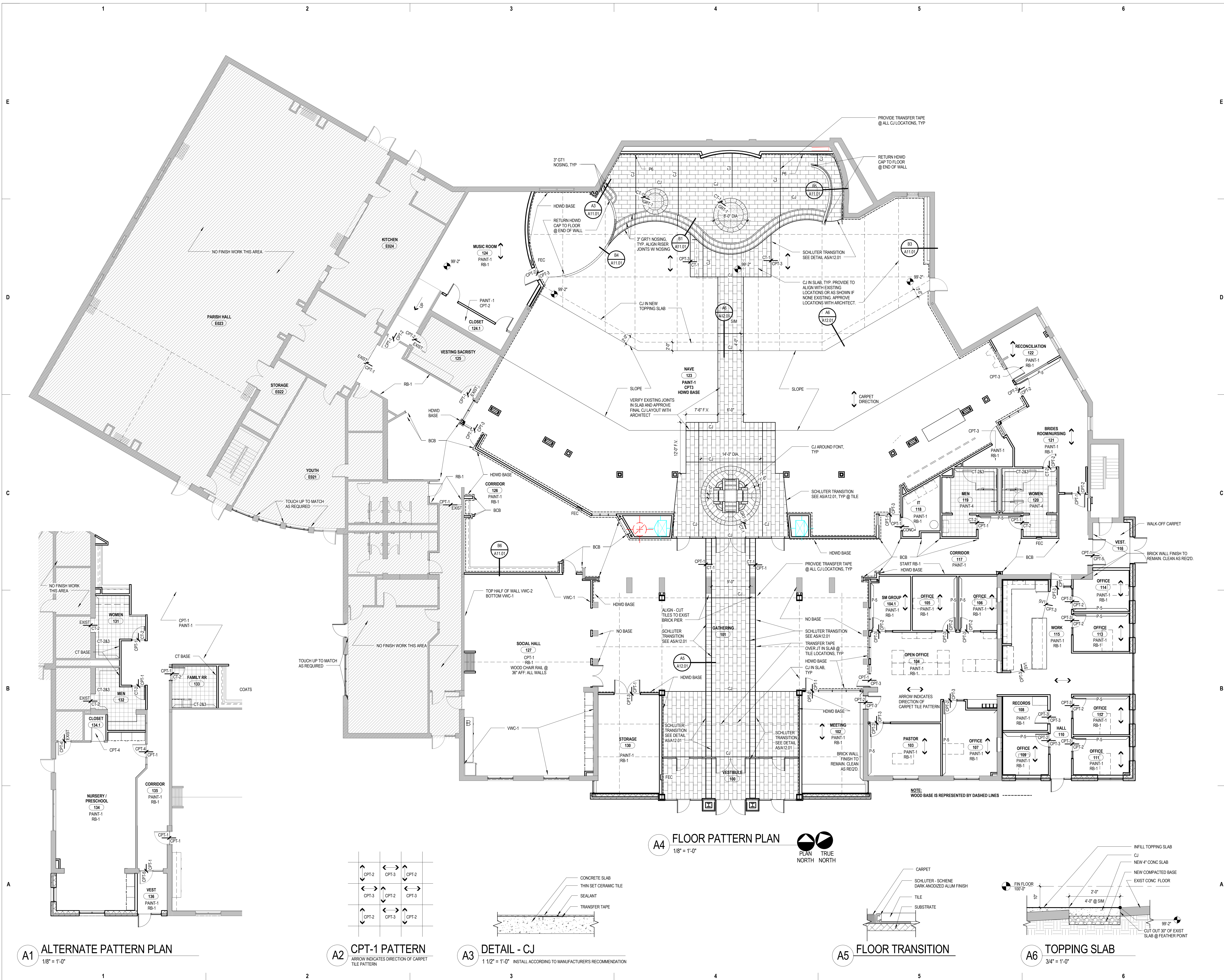
ISSUED: January 28, 2015
PROJECT NO: 2013.203.01
DATE: 2/25/2015

RDG Planning & Design
1000 Exchange Street
Portland, ME 04102
(409) 233-0111

PHASE 1 RENOVATIONS AND ADDITIONS

FINISH DETAILS & SCHEDULE

A11.01



A1 ALTERNATE PATTERN PLAN
1/8" = 1'-0"

A2 CPT-1 PATTERN
ARROW INDICATES DIRECTION OF CARPET TILE PATTERN

A3 DETAIL - CJ
1 1/2" = 1'-0" INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATION

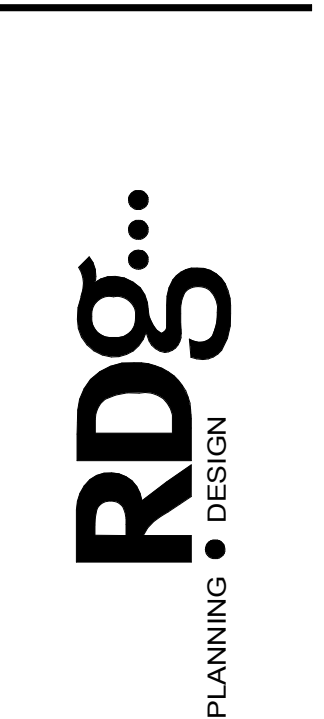
A4 FLOOR PATTERN PLAN
1/8" = 1'-0"
PLAN TRUE
NORTH NORTH

A5 FLOOR TRANSITION

A6 TOPPING SLAB
3/4" = 1'-0"

PHASE 1 RENOVATIONS AND ADDITIONS

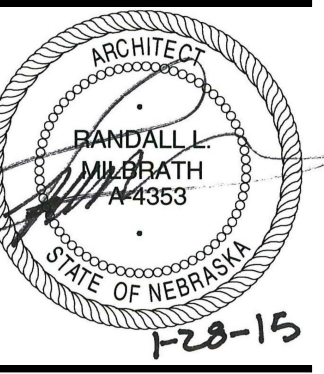
CONSTRUCTION DOCUMENTS



ARCHITECT
RDG Planning & Design
1000 Exchange Center Blvd
Greenville, NE 68102
(402) 333-2121

STRUCTURAL
Harris Engineering & Design, Inc.
1000 Exchange Center Blvd
Greenville, NE 68102
(402) 333-2121

MECH/ELEC/PLUMB
Harris Engineering & Design, Inc.
1000 Exchange Center Blvd
Greenville, NE 68102
(402) 333-2121



St. James Catholic Church
3801 Avenue A
Kearney, NE 68847



REV	DATE	DESCRIPTION
2	2/25/2015	ADD. B

ISSUED: January 28, 2015
PROJECT NO: 2013.203.01
BY: RDG Planning & Design
CHECKED BY: [Signature]
PHASE 1 RENOVATIONS AND ADDITIONS

FINISH PLAN

SHEET REISSUED
A12.01