

ADDENDUM NO. CC-1

to the
Bidding Documents

for

Millard Public Schools
Kiewit Middle School Office/Staff Lounge Renovation
Omaha, NE
BCDM Project No. 3026-09

BCDM Architects
1015 North 98th Street, Suite 300
Omaha, Nebraska 68114

June 11, 2013

NOTE: ADDENDA MAY BE VIEWED AT WWW.ADTECHSUPPLY.COM

REMINDER: BID DATE AND TIME: JUNE 13, 2013 AT 1:30 P.M.

Attached is the Sign-in sheet from the Pre-Bid Meeting held on June 5, 2013.

NOTICE TO BIDDERS: The Project Manual and Drawings for the above referenced project are hereby amended as follows:

PROJECT MANUAL

NONE

DRAWINGS

SHEET AD1-1, DEMOLITION PLAN

a. See attached revised demolition plan for modifications.

SHEET A1-1, FLOOR PLAN

a. See attached revised floor plan for modifications.

SHEET ED1-1, ELECTRICAL DEMOLITION PLAN

a. See attached revised electrical demolition plan for modifications

SHEET E1-1, FLOOR PLAN – OFFICE - POWER PLAN

a. See attached revised power plan for modifications.

SHEET E1-2, FLOOR PLAN - POWER

a. See attached revised power plan for modifications.

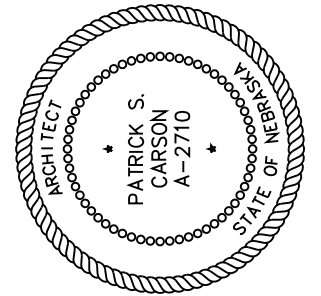
END OF ADDENDUM

GENERAL DEMOLITION NOTES:

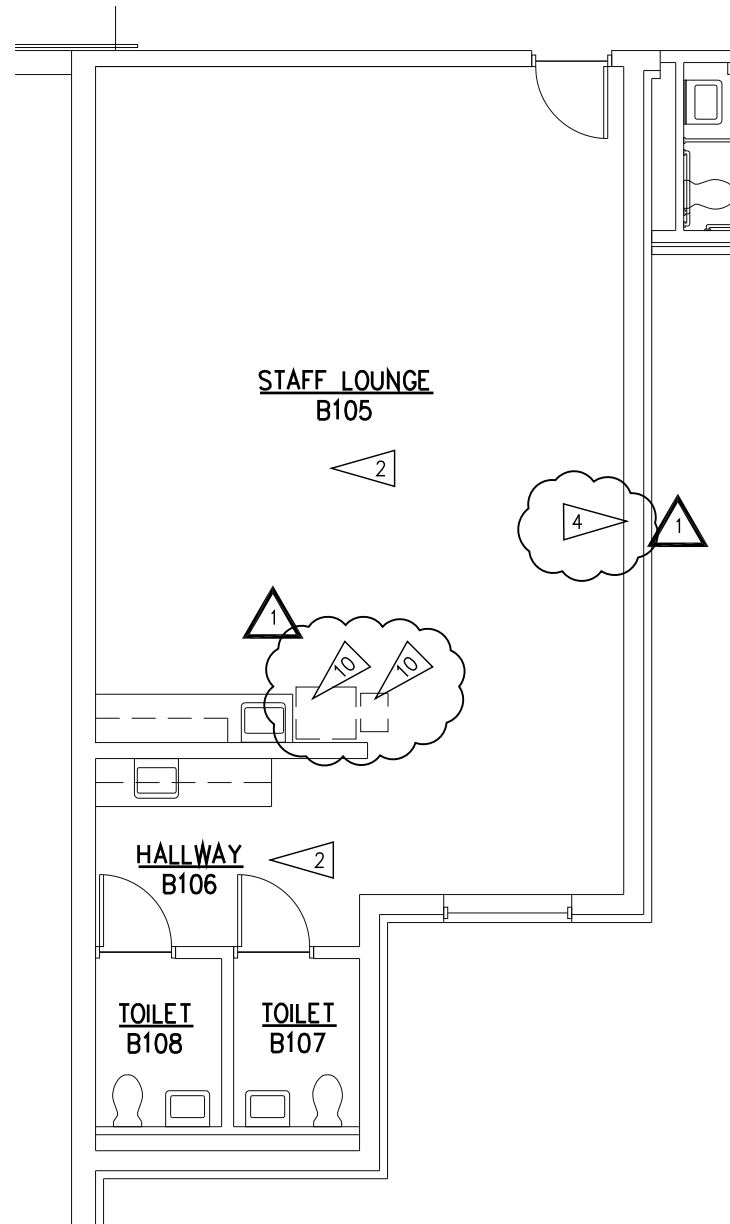
- Remove all walls, countertops and other items shown bold and/or dashed on the Drawings. Verify the scope of demolition with the new Construction Drawings. Contractor shall remove any wall or item not specifically bold and dashed that would be required to provide a finished product as per the Plans and Specifications
- The Contractor shall haul all demolition debris away from the site and dispose of properly.
- The Contractor shall notify the Architect if the demolition work appears to affect the structural integrity of the existing building before proceeding.
- Disconnect and cap all services (electrical, mechanical and plumbing) in existing walls to be removed.
- See mechanical and electrical sheets for removal of mechanical, plumbing and electrical items. All plumbing fixtures, lighting fixtures and outlets shall be capped below slabs in accordance with prevailing code requirements.
- All information shown on the demolition plan, including doors, walls, chases, equipment, ceilings, etc., are not intended to represent the total scope of the demolition contract. The intent of these drawings is to assist the general contractor with estimation only without limiting definition of scope. The intent of demolition is to remove items as necessary to prepare for new construction work shown in these contract documents.
- Coordinate all demolition work between all trades.
- All walls indicated to be removed shall be removed in their entirety, including all electrical outlets, switches and conduits, telephone outlets, wiring, mechanical piping, base material and plumbing, etc.
- The owner shall have first right of refusal of all salvageable items.
- All materials removed and not reused shall become the property of the contractor unless otherwise specifically designated to remain the property of the owner.

DEMOLITION FLAG NOTES:

- 1 REMOVE PORTION OF WALL TO ACCOMMODATE NEW WINDOW AND PROVIDE STRUCTURAL ANGLES AS NOTED AT OPENING.
- 2 REMOVE CARPET AND BASE IN ITS ENTIRETY IN THIS ROOM AND PREP FLOOR AS REQUIRED FOR NEW FLOOR AND BASE.
- 3 REMOVE COUNTERTOP AND ASSOCIATED SUPPORTS AND REPLACE WITH NEW COUNTERTOP AS SHOWN. REMOVE AND REINSTALL PASS-THROUGH WINDOW THAT SITS ON EXISTING COUNTERTOP.
- 4 REMOVE FRAMED TACKBOARD AND TURN OVER TO OWNER, AND PREP WALL AS REQUIRED FOR NEW PAINT.
- 5 EXISTING SYSTEMS FURNITURE TO BE REMOVED BY OTHERS PRIOR TO THE START OF CONSTRUCTION.
- 6 REMOVE WALL-MOUNTED SHELVING UNITS AND FRAMED TACKBOARDS THAT RUN FULL LENGTH OF SHELVING, AND TURN ALL ITEMS OVER TO OWNER. PREP WALL AS REQUIRED FOR NEW PAINT.
- 7 REMOVE PAPER MANAGEMENT FROM WALL AND TURN OVER TO OWNER, AND PREP WALL AS REQUIRED FOR NEW PAINT.
- 8 REMOVE FRAMED TACKBOARD AND REINSTALL ON EAST WALL OF STAFF LOUNGE B105. PREP WALL AS REQUIRED FOR NEW PAINT.
- 9 REMOVE FRAMED TACKBOARD, PAINT BEHIND, AND REINSTALL IN SAME LOCATION.
- 10 REMOVE AND REINSTALL REFRIGERATOR AND WATER COOLER.



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1	ADDENDUM CC-1	CLK	6.11.13

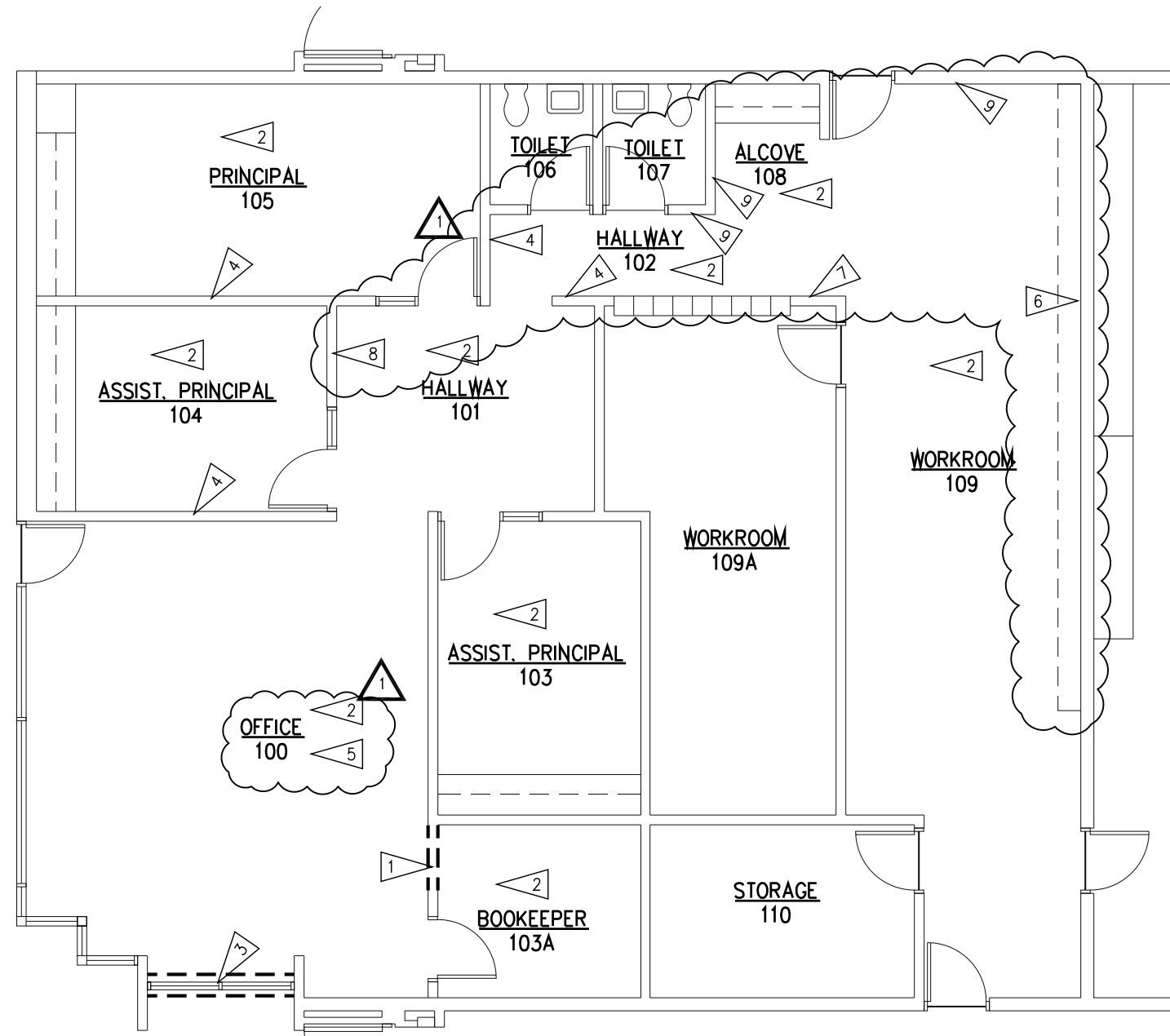


PLAN NORTH

DEMOLITION PLAN - STAFF LOUNGE

SCALE: 1/8" = 1'-0"

2
AD1-1



PLAN NORTH

DEMOLITION PLAN - OFFICE

SCALE: 1/8" = 1'-0"

1
AD1-1

KIEWIT MIDDLE SCHOOL
 HILLARD PUBLIC SCHOOLS - OFFICE RENOVATION - OMAHA, NE
 ARCHITECT: LIBESCAPE ARCHITECTURE, INTERIOR DESIGN, CONSTRUCTION MANAGEMENT

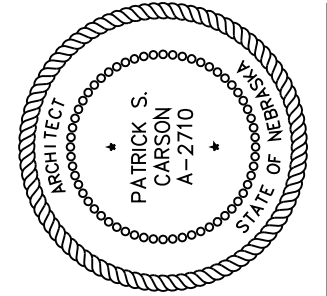


AD1-1
 1/8" = 1'-0"

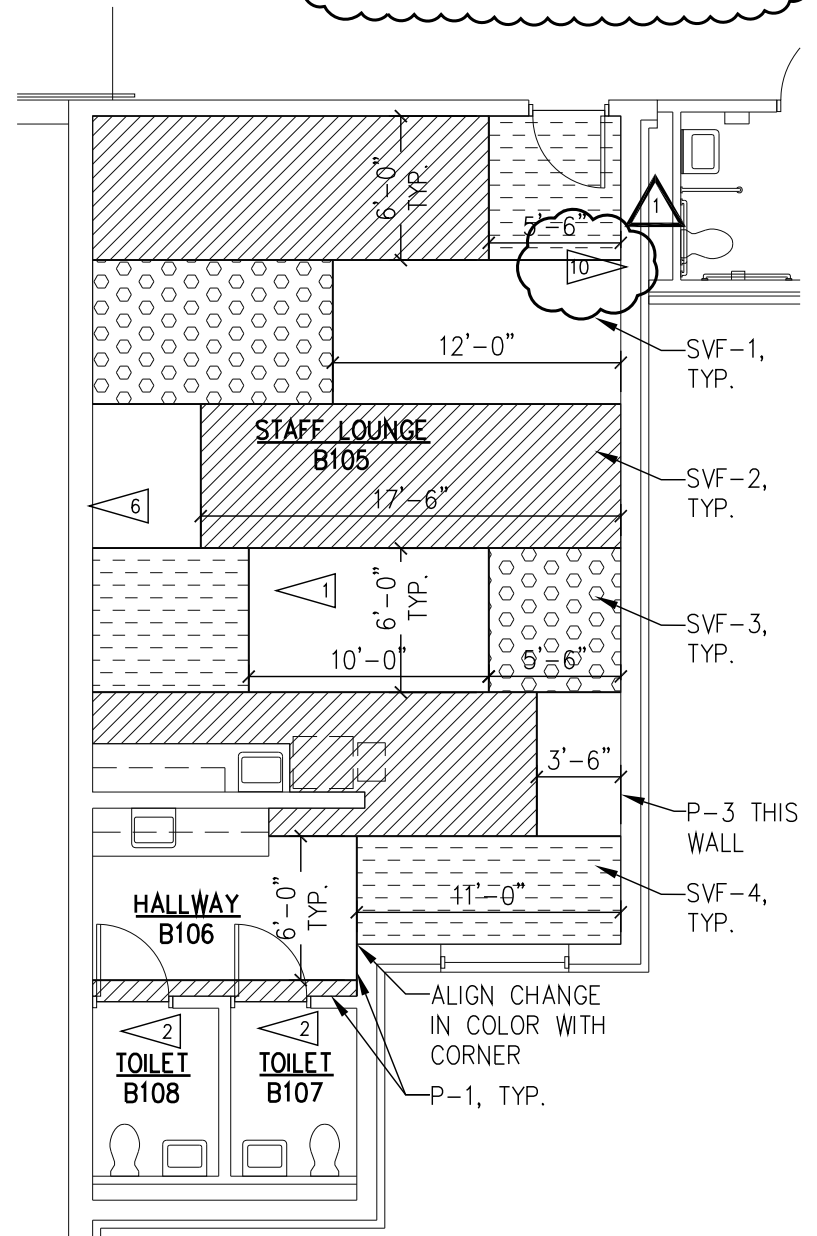
FLOOR PLAN FLAG NOTES:

- 1 PROVIDE NEW FLOORING AND BASE AND PAINT ALL WALLS THROUGHOUT OFFICE SUITE AND STAFF LOUNGE, U.N.O. SEE ROOM FINISH SCHEDULE.
- 2 EXISTING FLOORING AND WALL FINISHES SHALL REMAIN IN THIS ROOM.
- 3 SYSTEMS FURNITURE IN OFFICES 103, 104 AND 105, SHALL BE MOVED TEMPORARILY FOR INSTALLATION OF NEW CARPET AND PAINTING, AND BE REINSTALLED AT AFTER WORK IS COMPLETE.
- 4 AT HOLLOW METAL FRAMES BETWEEN OFFICE 100 AND COMMONS/CORRIDOR, PAINT THE OFFICE SIDE OF THE FRAMES UNDER BASE BID. PAINT THE COMMONS/CORRIDOR SIDE UNDER ALTERNATE #1. FRAMES SHALL BE PAINTED P-2.
- 5 PATCH ALL WALLS AS REQUIRED WHERE TACKBOARDS HAVE BEEN REMOVED.
- 6 NEW TV (PROVIDED BY OWNER, N.I.C.) SEE ELECTRICAL FOR POWER AND DATA.
- 7 PROVIDE NEW COUNTERTOP ON BOTH SIDES OF WINDOW FRAME. ON CORRIDOR SIDE, MATCH DEPTH OF EXISTING COUNTERTOP. ON OFFICE SIDE, PROVIDE 18-INCH DEEP COUNTERTOP WITH SINGLE ROW OF 5-INCH HIGH DRAWERS (3 TOTAL) DIRECTLY BELOW COUNTERTOP, WITH LOCKS. PROVIDE GROMMET IN EACH CORNER NEAR FRAME ON OFFICE SIDE, SEE 2/A1-2.
- 8 WOOD FRAMED SIGNAGE TO REMAIN HUNG ON WALL. NEATLY PAINT AROUND THE SIGN.
- 9 NEW SYSTEMS FURNITURE (N.I.C.) SHOWN FOR REFERENCE.
- 10 INSTALL FRAMED TACKBOARD (RELOCATED FROM HALLWAY 101) 4'-0" FROM CORNER AND 3'-0" A.F.F.

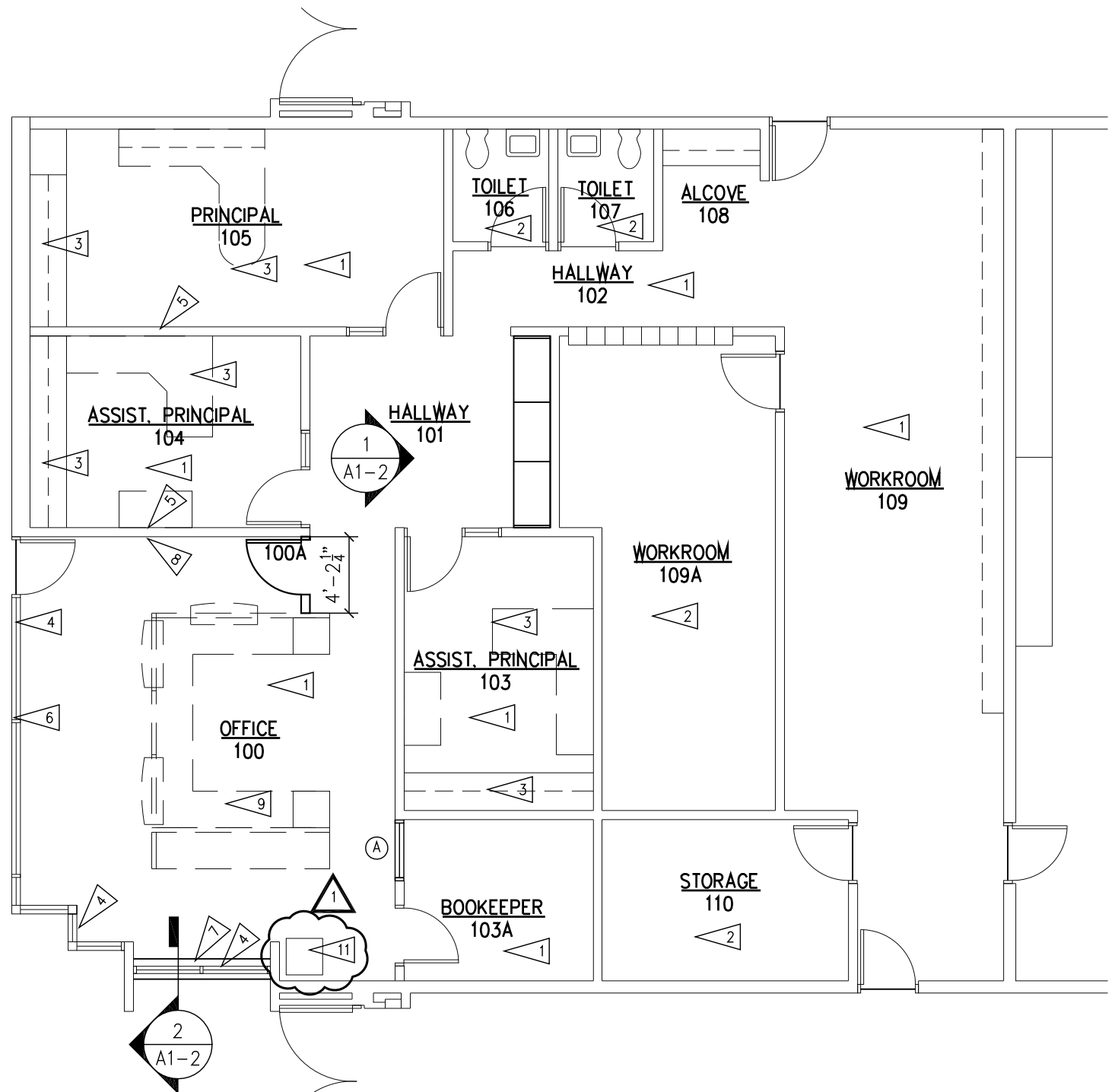
11 EXISTING INTERCOM UNIT SHALL REMAIN IN THIS APPROXIMATE LOCATION THROUGHOUT CONSTRUCTION. CURRENT LOCATION IS TO THE NORTH APPROXIMATELY 2'-0", BUT SHALL BE MOVED BACK INTO CORNER BY COMPLETION.



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PLAN NORTH FLOOR PLAN - STAFF LOUNGE SCALE: 1/8" = 1'-0" 2 A1-1



PLAN NORTH FLOOR PLAN - OFFICE SCALE: 1/8" = 1'-0" 1 A1-1

KIEWIT MIDDLE SCHOOL
 HILLARD PUBLIC SCHOOLS - OFFICE RENOVATION - OMAHA, NE
 ARCHITECT: BILLY MANNING ARCHITECTS
 INTERIOR DESIGN, CONSTRUCTION MANAGEMENT: LIBESCAPE ARCHITECTURE



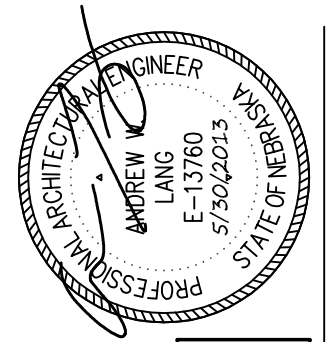
A1-1

DEMOLITION NOTES

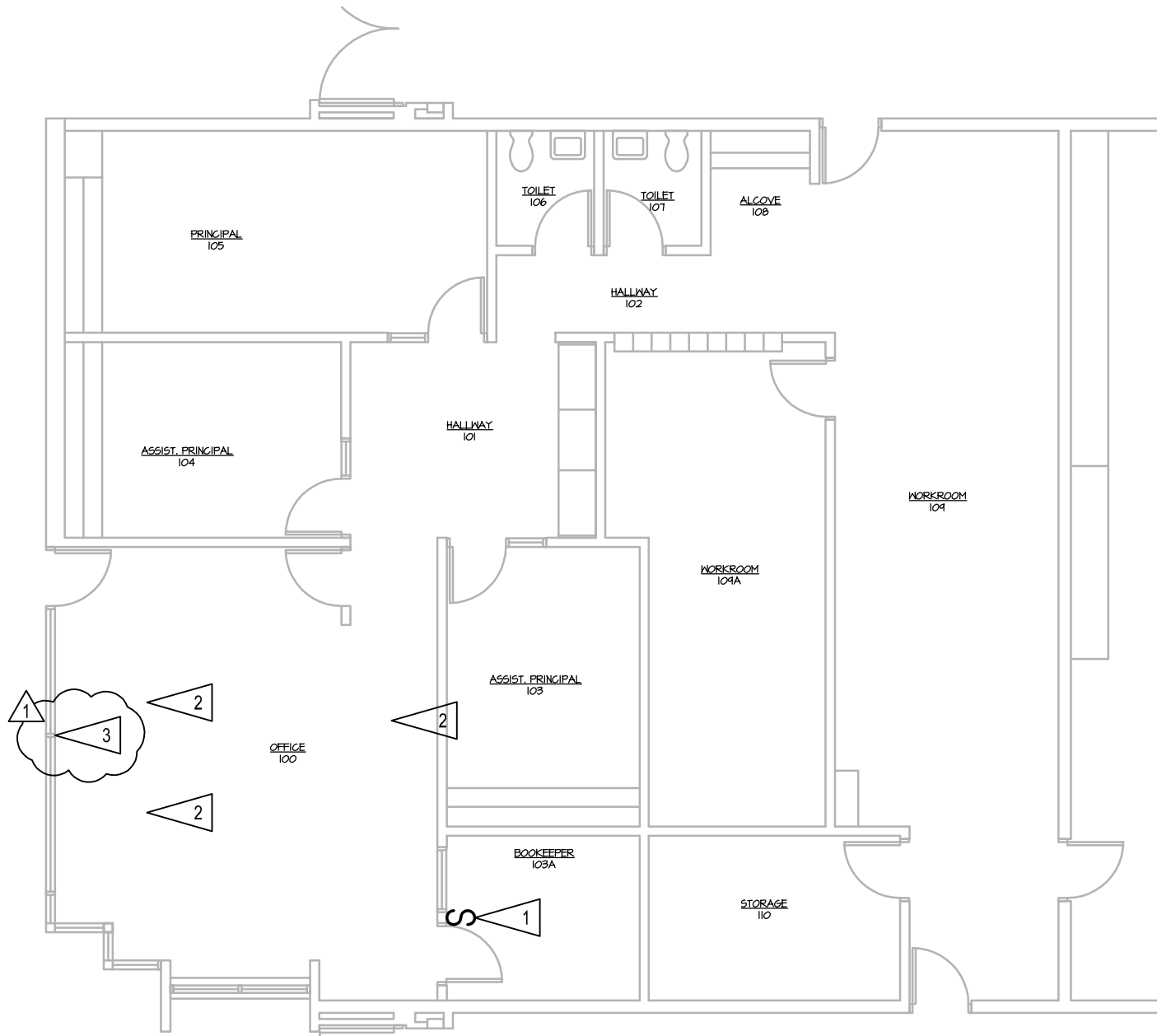
1. THE OWNER SHALL HAVE FIRST SALVAGE RIGHTS TO ALL FIXTURES, DEVICES AND EQUIPMENT REMOVED.
2. WHERE EXISTING CIRCUITS ARE NOT REUSED, REMOVE CONDUCTORS AND ASSOCIATED ACCESSIBLE RACEWAYS BACK TO THE SOURCE. ABANDON CONCEALED CONDUITS IN WALLS WHICH ARE NOT REMOVED.
3. DEMOLITION DRAWINGS INDICATE FIXTURES, DEVICES AND MAJOR PIECES OF EQUIPMENT WHICH ARE TO BE REMOVED OR RECONNECTED. REMOVE INDICATED ITEMS AND ASSOCIATED ITEMS NOT INDICATED BUT WHICH MUST BE REMOVED TO ACCOMMODATE REMODELING. SEE PROJECT MANUAL "WORK IN EXISTING BUILDINGS" FOR ADDITIONAL INFORMATION.
4. POWER TO EXISTING AREAS NOT BEING REMODELED SHALL BE MAINTAINED AT ALL TIMES EXCEPT FOR SHORT TERM OUTAGES NECESSARY FOR RECONNECTION OF EXISTING CIRCUITS. COORDINATE AND SCHEDULE OUTAGES WITH THE OWNER.
5. COORDINATE DEMOLITION WITH THE WORK OF OTHER TRADES. PROVIDE TEMPORARY POWER AS REQUIRED TO ALLOW THE WORK OF OTHER TRADES TO PROCEED OR AS REQUIRED TO ALLOW THE OWNER TO OCCUPY THE SPACE.

FLAG NOTES

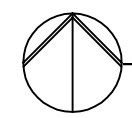
- 1 REMOVE EXISTING SWITCH. EXISTING LIGHTS TO REMAIN.
- 2 REMOVE CONNECTION TO EXISTING POWERED FURNITURE, PROVIDE BLANK PLATE.
- 3 REMOVE EXISTING WIREMOLD AND ASSOCIATED A/V CABLING.



REV.	DESCRIPTION	DATE	BY	CHK
1		05/11/15		



KIEWIT MIDDLE SCHOOL
 WILLARD PUBLIC SCHOOLS - OFFICE RENOVATION - OMAHA, NE
 SENIGER GIACIO DENNELL WABNEY - ARCHITECTURE, LANDSCAPE ARCHITECTURE, INTERIOR DESIGN, CONSTRUCTION MANAGEMENT



PLAN NORTH

FLOOR PLAN - OFFICE - DEMOLITION

SCALE: 1/8" = 1'-0"

1
ED1-1

mei project: 12338

<p>morrissey engineering inc mechanical electrical technology construction</p> <p>4540 North 119th Street Omaha, NE 68164 P: 402.471.4344 www.morrisseyengineering.com</p>	<p>©copyright permission to reproduce all or part of this drawing is hereby granted solely for the limited purpose of construction of this project or archiving. unauthorized copying, disclosure or construction use without written permission of morrissey engineering, inc. is prohibited by copyright law.</p> <p>note: do not scale drawings. verify all dimensions and clearances from architectural, structural, shop and other appropriate drawings or at site. lay out and coordinate all work prior to installation to provide clearances required for operation, maintenance, and codes and verify non-interference with other work. do not fabricate prior to verification of clearance for all trades.</p>
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ED1-1
MAY 20 2015
SCM INC. 080-00

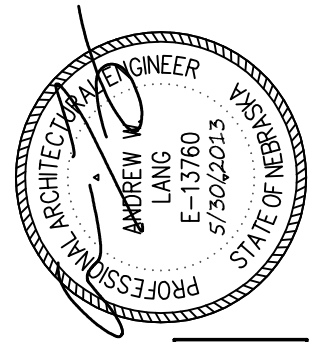
FLAG NOTES

- 1 PROVIDE OVER FLOOR RACEWAY, WIREMOLD OFR SERIES. TRANSITION UP WALL WITH WIREMOLD 4000 SERIES, PAINT TO MATCH WALL. CONNECT POWER FURNITURE WHIP.
- 2 PROVIDE WHITE CEILING RECEPTACLE AND SINGLE GANG DEEP BOX WITH WHITE RAPID RUN VGA PLATE. PROVIDE NEW RAPID RUN CABLE FROM SECURITY MONITOR TO NEW ADMIN DESK VIA OVER FLOOR RACEWAY. PROVIDE RAPID RUN DECORA PLATE AT ADMIN DESK.
- 3 CONNECT OCCUPANCY SENSOR TO EXISTING ROOM LIGHTING AND EXISTING CIRCUIT SERVING ROOM LIGHTS. PAINT WIREMOLD TO MATCH WALL.
- 4 PROVIDE QUANTITY OF DATA DROPS INDICATED. DROPS SHALL BE PROVIDED BY CSI. CONTACT VERLYN VELDHOUSE (402) 597-3333 x 115.
- 5 PROVIDE WIREMOLD DOWN WALL IN CORNER AND HORIZONTALLY UNDER EXISTING MARKERBOARD. WIREMOLD SHALL BE 2000 SERIES.
- 6 PROVIDE NEW CABLING FOR INTERCOM MASTER STATION THIS LOCATION. INTERCOM WORK SHALL BE PROVIDED BY ELECTRONIC SOUND. CONTACT PETE RICHLING (402) 334-8550.

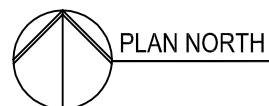
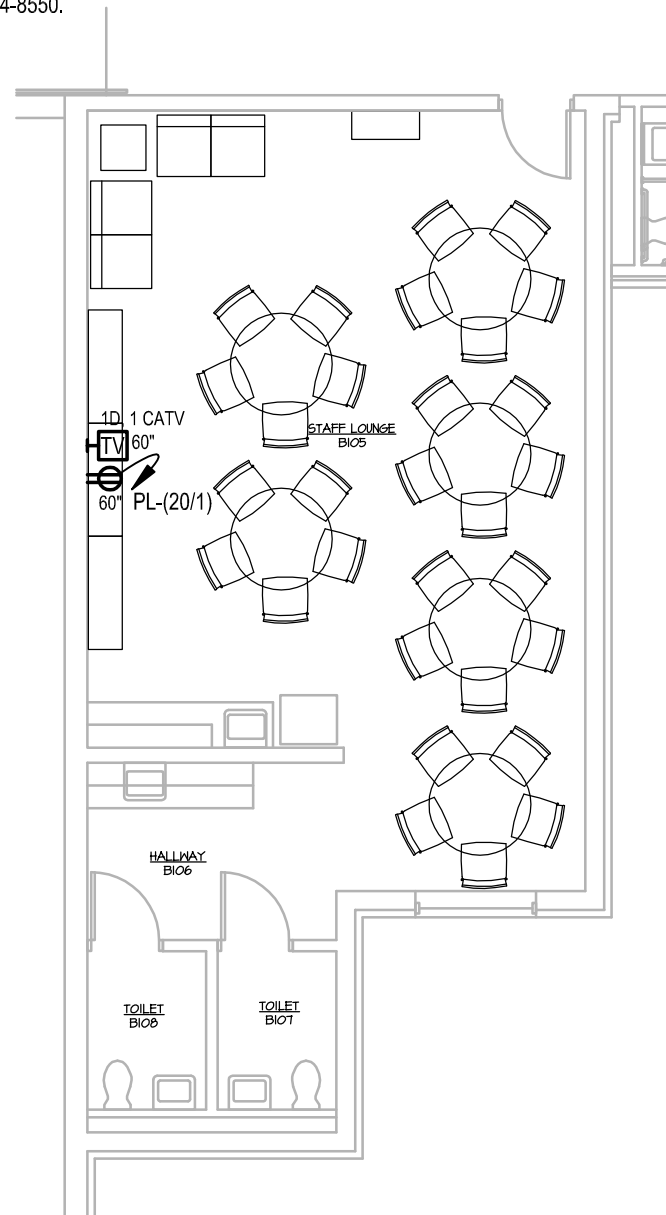
7 PROVIDE VGA OVER CAT 5e TO MONITOR IN LOBBY, SEE SHEET E1-2 FOR LOCATION. PROVIDE TRANSMITTER, C2G #29367 AT ADMIN DESK. AT MONITOR, PROVIDE RECEIVER, C2G #29368. SECURE RECEIVER TO MOUNT CONCEALED BEHIND MONITOR. TERMINATE CAT 5e ON EACH END AND TEST.

GENERAL NOTES

- 1. MINIMUM SIZE FOR BRANCH CIRCUIT CONDUITS SHALL BE 3/4." MINIMUM DATA/COMMUNICATIONS CONDUIT SIZE SHALL BE 1." SEE DRAWINGS FOR AREAS WHERE LARGER CONDUITS ARE REQUIRED.
- 2. PROVIDE A DEDICATED NEUTRAL CONDUCTOR FOR EACH BRANCH CIRCUIT.
- 3. PROVIDE A GREEN INSULATED GROUND WIRE IN ALL LIGHTING AND POWER BRANCH CIRCUITS.



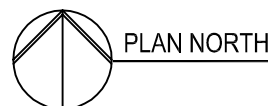
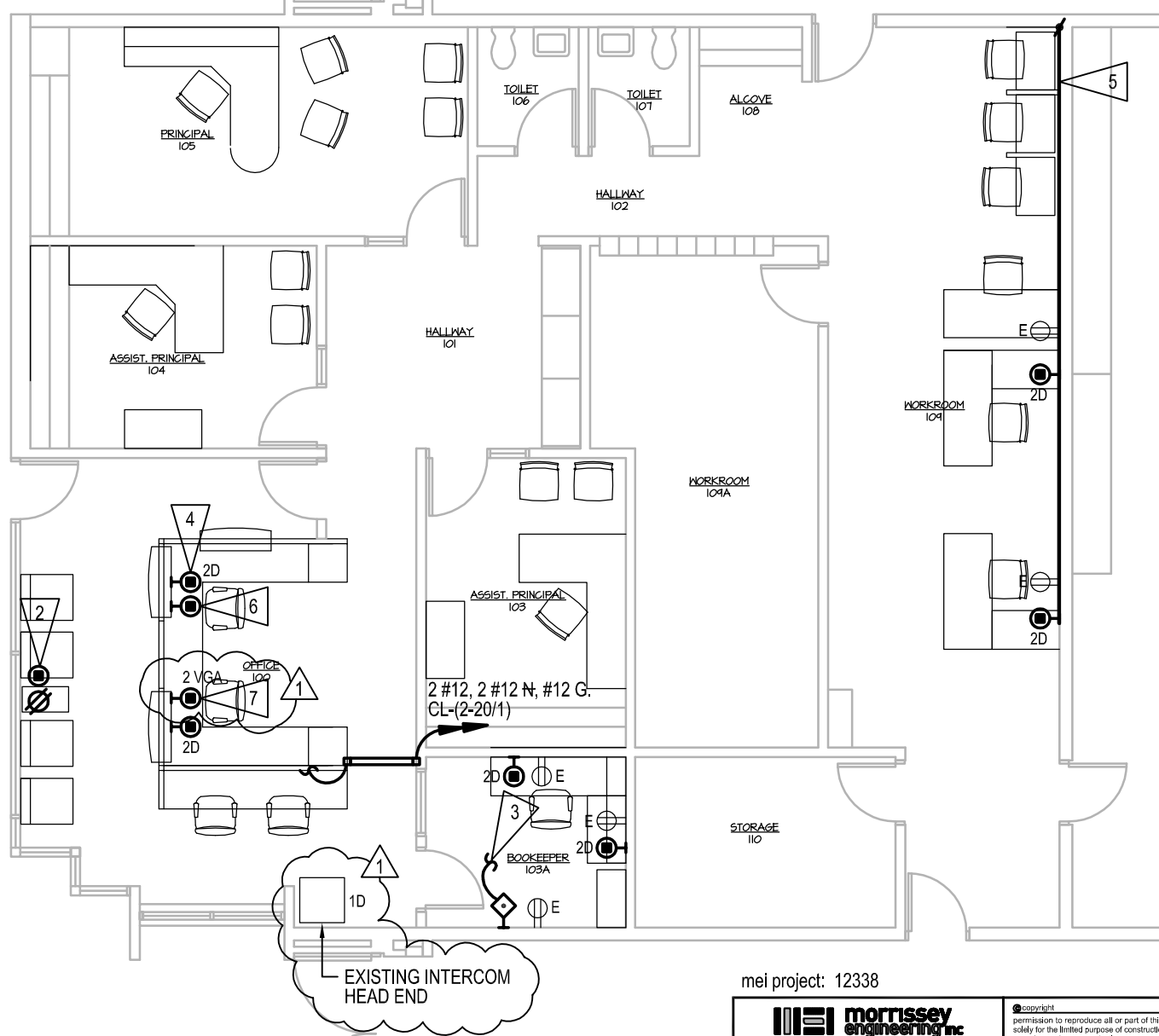
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PLAN NORTH

FLOOR PLAN - STAFF LOUNGE - POWER

SCALE: 1/8" = 1'-0" 2 E1-1



PLAN NORTH

FLOOR PLAN - OFFICE - POWER

SCALE: 1/8" = 1'-0" 1 E1-1

EXISTING INTERCOM HEAD END

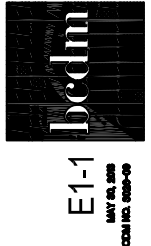
mei project: 12338

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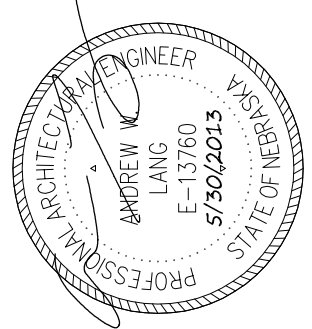
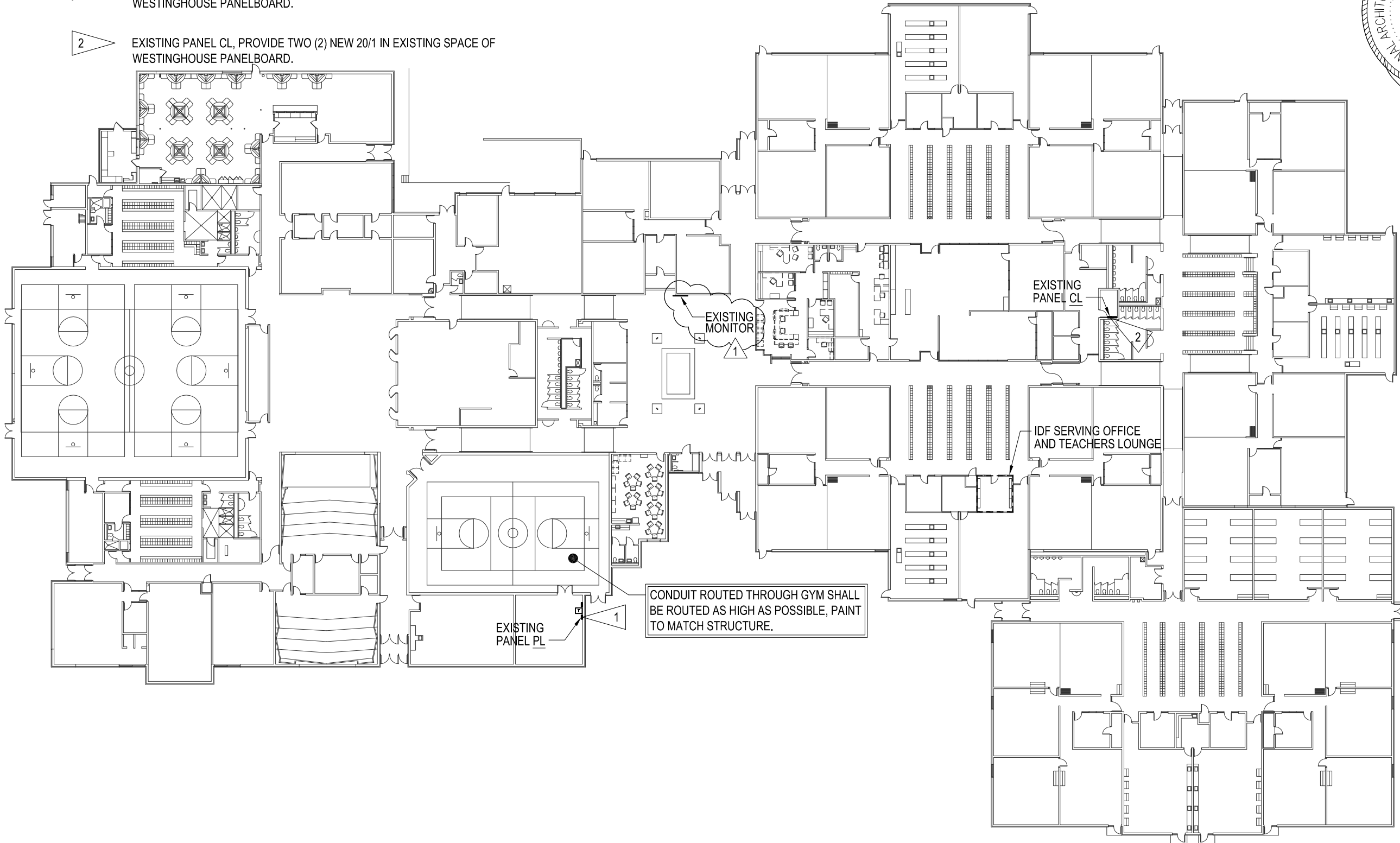
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KIEWIT MIDDLE SCHOOL
 WILLARD PUBLIC SCHOOLS - OFFICE RENOVATION - OMAHA, NE
 SENIGER GIACIO DENNELL WABNEY - ARCHITECTURE, LANDSCAPE ARCHITECTURE, INTERIOR DESIGN, CONSTRUCTION MANAGEMENT

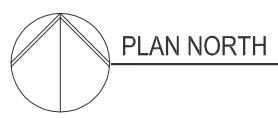


FLAG NOTES

- 1 EXISTING PANEL PL, PROVIDE ONE (1) NEW 20/1 IN EXISTING SPACE OF WESTINGHOUSE PANELBOARD.
- 2 EXISTING PANEL CL, PROVIDE TWO (2) NEW 20/1 IN EXISTING SPACE OF WESTINGHOUSE PANELBOARD.



no.	description	by	date
1		ME	6.11.13



FLOOR PLAN - POWER 1
SCALE: 1" = 40'-0" E1-2

mei project: 12338

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 KIEWIT MIDDLE SCHOOL
 MILLARD PUBLIC SCHOOLS - OFFICE RENOVATION - OMAHA, NE
 BENINGER CACCIO DENNELL WABNEY - ARCHITECTURE, LANDSCAPE ARCHITECTURE, INTERIOR DESIGN, CONSTRUCTION MANAGEMENT

E1-2
 MAY 30, 2013
 BCDM INC. 3028-00