

TO: PLANHOLDERS
ADDENDUM NUMBER THREE

DATE ISSUED: June 8, 2026

RE: Courthouse Restoration _ Phase 1 - Roof
Nuckolls County
150 South Main Street
Nelson, NE 68961

BERGGREN ARCHITECTS
PROJECT NO: 202503-503.1
NUMBER OF PAGES (Including Attachments): 8

The Architect issues this addendum to all plan holders of record. This addendum amends only those portions of the plans and specifications described below, and all other portions remain unchanged and in full effect.

IN THE PROJECT MANUAL

ADVERTISEMENT FOR BIDS

A. Page AB-1 _Revise the first paragraph as follows:

Change the date to receive proposals in the County Clerk's office to **June 19, 2026, at 4:00**, and the opening and reading of the proposals to **June 22, 2026**, during the Commissioners meeting.

ITEM NO 3-1 PROPOSAL

A. Page Revised PF – 1 _Add the following:

A. Add the following paragraph:

The contractor shall state the price to repair any deteriorated metal exposed after the paint removal process on the clock tower.

B. Add the following paragraph:

If dentil alternate is accepted by the owner, the contractor shall state the price to repair any deteriorated metal exposed after the paint removal process on the dentil work.

See Attachment A for revised proposal to be used.



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ITEM NO 3-2 SUPPLEMENTARY CONDITIONS AIA DOCUMENT A201

A. Page SC-1 _Under Heading “ARTICLE 3: CONTRACTOR”

Clarification of the following paragraph 3.9.1 from A.I.A. Document A201: The Contractor shall employ competent superintendent and necessary assistants who shall be in attendance at the Project site during performance of the Work. The superintendent shall represent the Contractor, and communications given to the superintendent shall be as binding as if given to the Contractor.

Add the following: The superintendent representing the Contractor in the Owner/Contractor Agreement shall remain on the project site full-time from the start of the Work to its completion.

B. Page SC-5 _Under Heading “ARTICLE 13: MISCELLANEOUS PROVISIONS”

Add the following paragraph 13.1.2:

The Owner has scheduled courtroom dates on the 1st, 3rd, and 5th Monday of each month. The days are to be considered ‘quiet days’, and construction activities for those days shall be coordinated with the Owner. There will not be any courtroom activities on August 17.

ITEM NO 3-3 SECTION 01 0100 – SUMMARY OF WORK

A. Page 01 0100-1

Add the following items:

1. Metal restoration costs for the clock tower shall be added via change order following paint removal and assessment.
2. If Add Alternate is accepted for dentil work, metal restoration costs shall be added via change order following paint removal and assessment.
3. Metal repair work shall NOT be included in the Base Bid, or Alternate for dentil work, but will be added via change order following the necessary assessments (listed above) and verified with time and material documents.

Refer also to Addendum No. 3 items regarding “Section 05 5000- Ornamental Sheet Metal Restoration”, “Section 09 9000- Painting”, and “Proposal-Revised”.



ITEM NO 3-4 SECTION 01 5000 – TEMPORARY FACILITIES

B. Page 01 5000 – 3 _ Under Heading “Field Offices”

Add the following paragraph:

A space in the courthouse basement shall be made available for the contractor’s field office. Access to the space shall be limited through the cellar door located on the west side of the courthouse.

ITEM NO 3-5 SECTION 05 5500 – ORNAMENTAL SHEET METAL RESTORATION

C. Page 05-550-1_ Under the heading “Description of Work” following the first paragraph.

Add the following:

On either the clock tower or the perimeter dentils (if the Alternate for them is accepted) an assessment of the extent of repairs shall be made after the existing paint is removed and the metal is concealed with the new paint. The assessment shall determine the scope of the repairs and a proposal shall be added to the contract amount. The confirmation of the proposal amount shall be by material receipts and recorded time. Refer to Addendum No. 3 items regarding “Section 01-0100-Summary of the work”, “Section 09 9000-Painting”, and “Proposal-Revised”.

ITEM NO 3-6 SECTION 07 6110 – METAL SHINGLES AND COPPER GUTTER LINING

A. Page 07 6110 – 1 _ Under Heading “Metal Shingle Installation”

Add the following sentence: ‘Install metal shingles and associated metal trim pieces with pan-head type screws’

ITEM NO 3-7 SECTION 09 9000 – PAINTING

A. Page 09-9000-6_ Under the heading “Repair and Restoration of Deteriorated Components”

In the first paragraph, add the following:

After paint removal, including but not limited to, abrasive blasting, an assessment of the condition of the existing metal shall be made. The assessment shall be used to determine a time and material proposal to be used to adjust the contract amount to repair the existing metal, prior to the final paint applications. This process shall apply to the metal on the clock tower and roof perimeter dentils if the dentil work Alternate is accepted by the Owner.



Refer also to Addendum No. 3 items regarding final paint applications. “Section 01 0100- Summary of the Work”, “Section 05 5500- Ornamental Sheet Metal Restoration”, and “Proposal-Revised”.

CHANGES TO THE DRAWINGS

ITEM NO 3-8 SHEET A-100 – ROOF PLAN

- A. Roof Plan – Add soldered copper crickets (4 each) at each end of the north and south existing pediments. Refer to Attachment B roof plan for locations.

- B. Roof Plan – Remove the existing adhered EPDM roof membrane at the base of the clock tower and on the surface of the four (4) balconies, one on each side of the tower. Replace with new adhered 60 mil EPDM membrane. Replace perimeter metal edge flashing with new matching flashing as required.

ITEM NO 3-9 SHEETS A-401, A-402, A-403, AND A-404

- A. Building Elevations – All dentil restoration work shall be by Alternate. If the Alternate for the dentil work is accepted by the Owner, repairs to exposed metal after paint removal shall be on a “time and material” basis. Refer to the Proposal Form for listing of Alternate.

ITEM NO 3-10 SHEET A-500 – GUTTER DETAILS (No. 1 and No. 2)

- A. Delete this sheet and refer to Attachment C for typical copper gutter lining detail. Provide positive drainage to the nearest downspout for each gutter run

ITEM NO 3-11 SHEET A-501 – GUTTER DETAILS (No. 3 and No. 4)

- A. Delete this sheet and refer to Attachment C for typical copper gutter lining detail. Provide positive drainage to the nearest downspout for each gutter run.

END OF ADDENDUM THREE



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Courthouse Restoration _ Phase 1 - Roof
Nuckolls County
Nelson, Nebraska

June 8, 2026
Addendum 3

PROPOSAL (REVISED)

To: Nuckolls Co. Board of Commissioners
Nuckolls Co. Courthouse
Nelson NE, 68961

Date: _____

PROPOSAL FOR:

Courthouse Restoration Phase 1- Roof
Nuckolls, NE

The Undersigned, being familiar with the local conditions affecting the cost of the work and the Contract Documents, including the Invitation to Bidders, Instructions to Bidders, General and Supplementary Conditions, Drawings and Specifications, hereby proposes to furnish all labor, materials, and equipment required to complete the Contract in accordance with the Contract Documents for the sum of:

BASE BID (TOWER RESTORATION & SHINGLE REPLACEMENT) _____
_____ DOLLARS (\$))

(Not including metal restoration work)

Anticipated start date: _____ . (Date)

All work shall be completed by: _____ TBD _____ . (Date)

ADD ALTERNATE (DENTIL WORK) _____
_____ DOLLARS (\$))

(Not including metal restoration work)

It is hereby indicated receipt of these Addenda No. (s) _____
prior to the time of submitting this proposal, and all items therein included in the above proposal.

UNIT PRICES:

UNIT PRICE QUOTE: The Contractor shall state the unit price to remove rotted wood roof decking as required and replace it with similar-sized new decking as needed. (Note that this determina-

tion can only be made once the removal of the existing roof system, including gutter, has occurred. Unit prices shall be listed as cost per board foot.

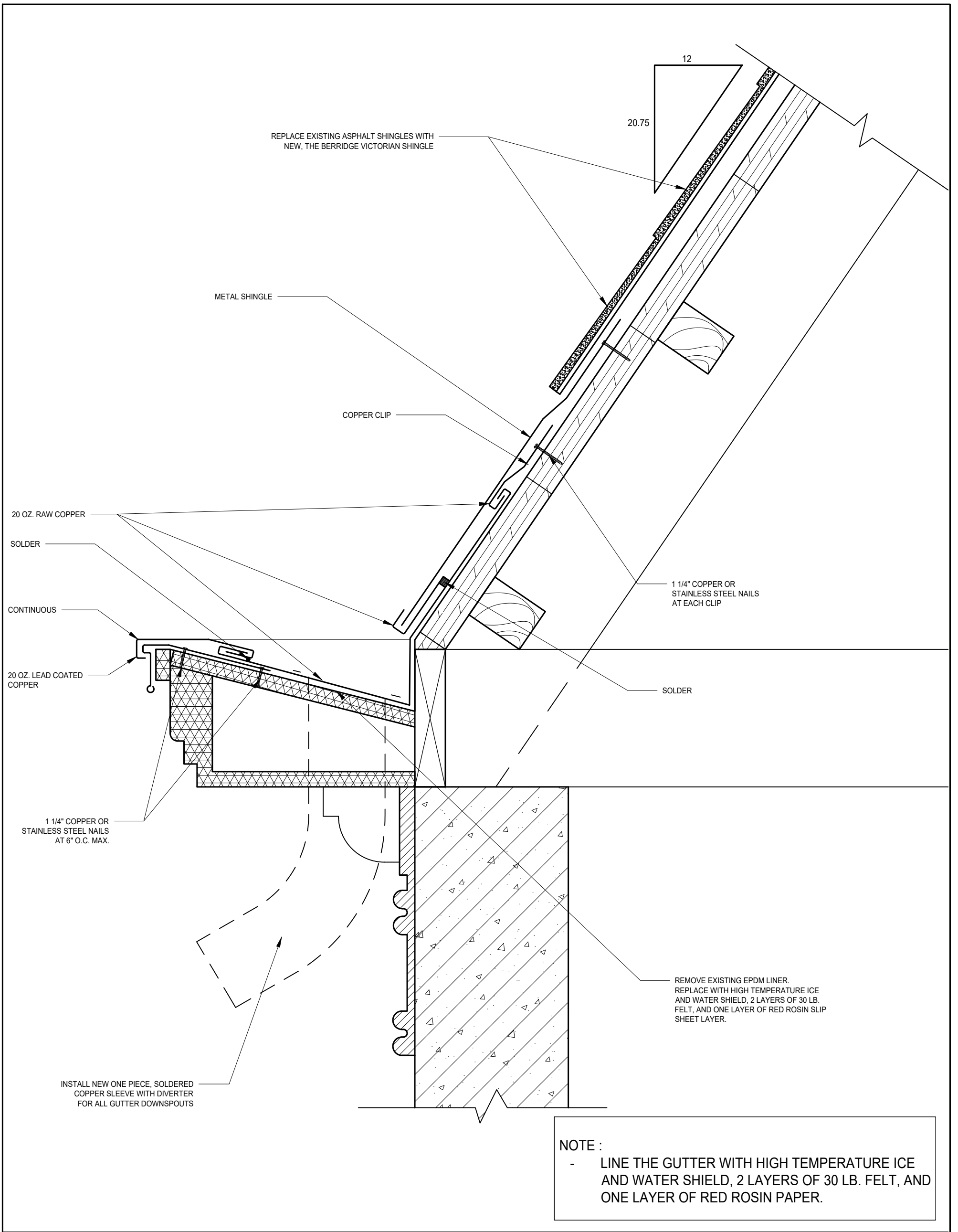
Unit Price-Replace rotted roof decking: Add \$ _____ per board foot.

UNIT PRICE QUOTE: The Contractor shall state the unit price to remove any existing downspouts that have deteriorated. Replace with copper downspouts of matching diameter and painted to match the original downspouts. Unit prices shall be listed as cost per lineal foot.

Unit Price-Replace existing downspouts: Add \$ _____ per lineal foot.

RESPECTFULLY SUBMITTED

FIRM NAME _____
SIGNATURE _____
TITLE _____



NOTE :

- LINE THE GUTTER WITH HIGH TEMPERATURE ICE AND WATER SHIELD, 2 LAYERS OF 30 LB. FELT, AND ONE LAYER OF RED ROSIN PAPER.

ATTACHMENT C - NEW COPPER GUTTERS

SCALE: 3"=1'-0

DATE: 05/04/2026
 PROJECT NO.: 202503-503.1
 SHEET NUMBER:
A-500

NUCKOLLS COUNTY COURTHOUSE
 ROOFING PROJECT
 150 Main St. Nelson, Nebraska



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I, Jeff Berggren, am the
 Coordinating Professional
 for this project.

