

ADDENDUM NO. CC-1

BCDM Architects  
1015 North 98th Street, Suite 300  
Omaha, Nebraska 68114

to the  
Bidding Document

for

May 22, 2026

Papillion La Vista Community Schools  
Trumble Park Elementary - Reroof 2026  
500 Valley Road, Papillion, NE 68046  
BCDM Project No. 3412-04

**NOTE: ADDENDA MAY BE VIEWED AT [WWW.ADTECHSUPPLY.COM](http://WWW.ADTECHSUPPLY.COM)**

**REMINDER: BID DATE AND TIME: THURSDAY, MAY 28, 2026 at 2:00 p.m.**

The pre-bid sign-in sheet has been included for reference.

NOTICE TO BIDDERS: The Project Manual and Drawings for the above referenced project are hereby amended as follows:

#### PROJECT MANUAL

##### SECTION 07 53 23 – EPDM THERMOSET SINGLE-PLY ROOFING

- a. Page 07 53 23, 1.04, B, change the word "Contractor" with the word "Owner".

##### SECTION 07 53 24 – EPDM ADHERED ROOFING

- a. Page 07 53 24, 1.03, B, change the word "Contractor" with the word "Owner".

#### DRAWINGS

##### A1-1 – COVER SHEET / DEMOLITION ROOF PLAN

- a. At ROOF PLAN LEGEND, change the ballasted roof text to read: "PER BASE BID, SALVAGE ROCK BALLAST AND PREP EXISTING EPDM FOR NEW 60 MIL EPDM ROOFING. EXISTING ROCK BALLAST TO BE REINSTALLED."
- b. At ROOF PLAN LEGEND, change the new asphalt roof shingles text to read: "REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SUBSTRATE. REMOVE EXISTING FLASHING AND WOOD BLOCKING AS NEEDED. PROVIDE NEW ROOF SHINGLES, ICE AND WATER SHIELD, AND PREFABRICATED METAL ROOF FASCIA."
- c. At ROOF PLAN LEGEND, change the existing epdm roof text to read: "PER BASE BID, REMOVE ROOF EDGE METAL FLASHING. EXISTING EPDM MEMBRANE AND INSULATION TO REMAIN. PROVIDE NEW ADHERED EPDM MEMBRANE OVER EXISTING MEMBRANE AND PROVIDE NEW PREFABRICATED METAL ROOF FASCIA."
- d. At DEMOLITION FLAG NOTES: add flags notes 2 and 3:
  - a. Flag Note 2: UNDER BASE BID, PREP FOR NEW ADHERED ROOFING. SEE ROOF LEGEND FOR EXTENTS.
  - b. Flag Note 3: UNDER BASE BID, REMOVE EXISTIN SHINGLES AND PREP FOR NEW ASPHALT SHINGLES. SEE ROOF LEGEND FOR EXTENTS.

##### A1-2 – ROOF PLAN AND DETAILS

- a. At ROOF PLAN LEGEND, change the ballasted roof text to read: "PER BASE BID, SALVAGE ROCK BALLAST AND PREP EXISTING EPDM FOR NEW 60 MIL EPDM ROOFING. EXISTING ROCK BALLAST TO BE REINSTALLED."
- b. At ROOF PLAN LEGEND, change the new asphalt roof shingles text to read: "REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SUBSTRATE. REMOVE EXISTING FLASHING AND WOOD

BLOCKING AS NEEDED. PROVIDE NEW ROOF SHINGLES, ICE AND WATER SHIELD, AND PREFABRICATED METAL ROOF FASCIA.”

- c. At ROOF PLAN LEGEND, change the new epdm roof text to read: “PER BASE BID, REMOVE ROOF EDGE METAL FLASHING. EXISTING EPDM MEMBRANE AND INSULATION TO REMAIN. PROVIDE NEW ADHERED EPDM MEMBRANE OVER EXISTING MEMBRANE AND PROVIDE NEW PREFABRICATED METAL ROOF FASCIA.”
- d. At view 8, add a note to remove and replace existing siding as required to install flashing.
- e. At view 14, add a note for the new gutter and downspout.

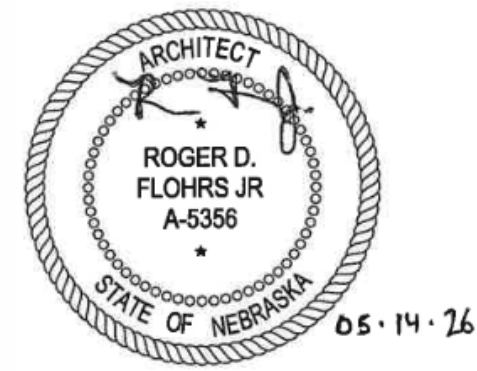
END OF ADDENDUM

Trumble Park Remot Pa-Bid 5/19

Name	Email	Company
Eric Ritz	Eric@MarkVIIEnterprises.com 314-799-9339	Mark VII Enterprises
CT Relford	CS@TDHcontracting.com	TDH Contracting
Jordan Ottosen	jottosen@whitecastlefch.com	White Castle Roofing
Richard Gzertgens	richard@dreym.com	Drey Roofing
Martin Kwoetze	Martin@MartinoRoofingllc.com	Martino Commercial Roofing
Araldo H.	Araldo@turboroofllc.com	Turbo Roofing
Eric Hansen	eric@alcove.roofs.com	Alcove Roofing
Edwin Cortez	info@cortecroof.com	Cortez Roofing
Antonio Bahena	BahenaRoofing@gmail.com	Bahena S. Roofing
JACO GERMISHUYS	jaco@10MENROOFING.COM	10 MEN ROOFING

**COORDINATING PROFESSIONAL**

I. ROGER FLOHRS JR., AM THE COORDINATING PROFESSIONAL ON THE  
PLCS - TRUMBLE PARK ELEMENTARY - REROOF 2026 PROJECT.



# PLCS - TRUMBLE PARK ELEMENTARY - REROOF 2026

500 Valley Rd, Papillion, NE 68046

BCDM NO: 3412-04



**PROJECT TEAM**

**OWNER:**  
Papillion-La Vista Community Schools  
420 S. Washington Street  
Papillion, NE 68046  
Phone: (402) 537-6200  
Fax: (402) 537-6216

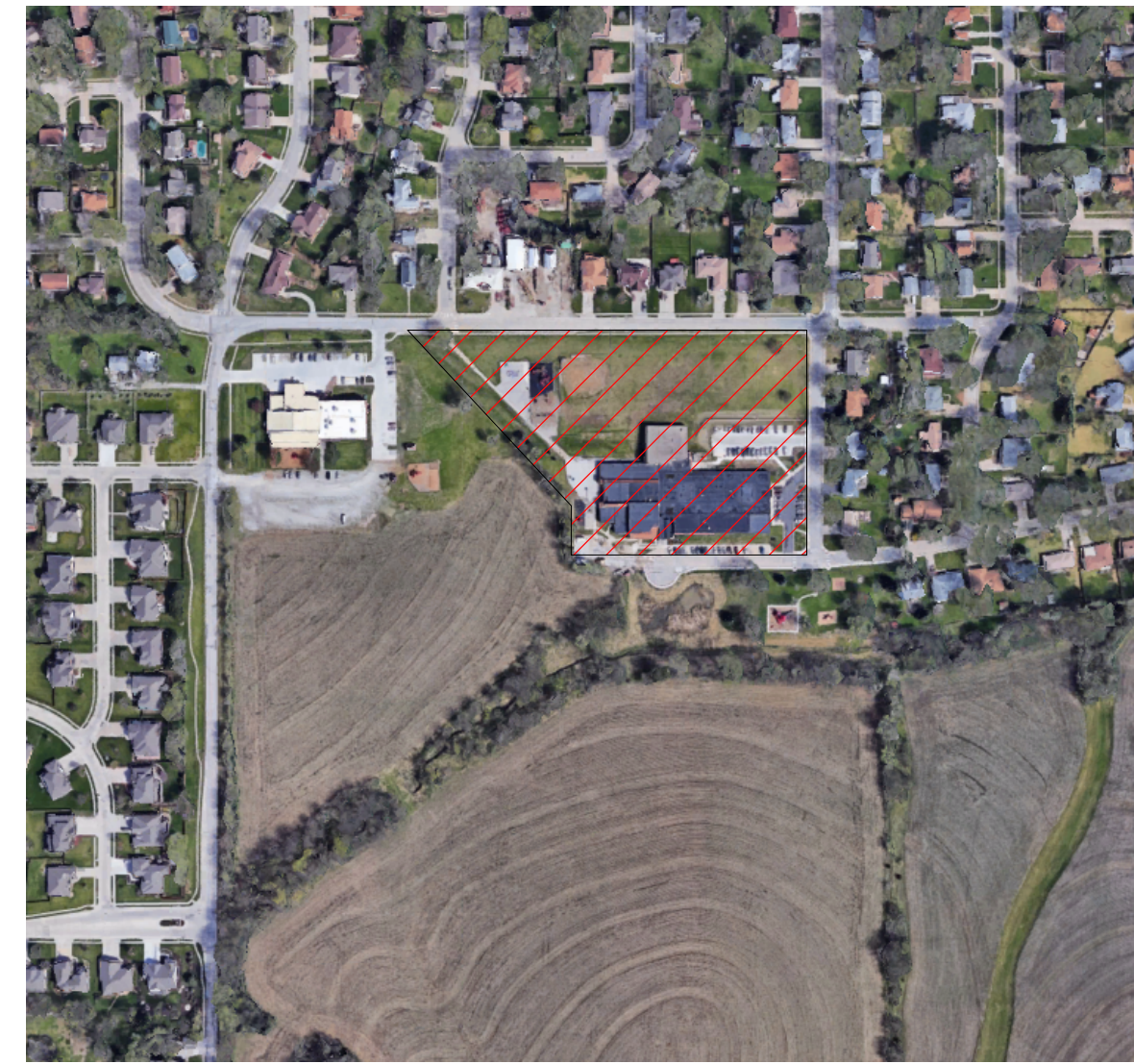
**ARCHITECT:**  
BCDM Architects  
1015 North 98th Street, Suite 300  
Omaha, NE 68114  
Phone: (402) 391-2211  
Fax: (402) 391-8721

**CODES:**

- 2018 International Building Code
- 2018 Uniform Plumbing Code
- 2018 International Plumbing Code
- 2018 International Mechanical Code
- 2017 National Electrical Code
- 2018 International Fire Code
- 2012 NFPA 101 Life Safety Code
- 2018 International Energy Conservation Code
- 2010 ADA Standards for Accessible Design
- 2017 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities
- Nebraska Accessibility Guidelines (NAG)
- 2018 International Existing Building Code

**PROJECT ADDRESS:**

500 Valley Rd, Papillion, NE 68046



**VICINITY MAP**

NOT TO SCALE

## SCHEDULE OF DRAWINGS

**ARCHITECTURAL**

- A1-1 COVER SHEET / DEMOLITION ROOF PLAN
- A1-2 ROOF PLAN AND DETAILS

**DEMOLITION FLAG NOTES**

FLAG NOTES APPLICABLE TO SHEET A1-1 ONLY.

- 1 UNDER BASE BID, REMOVE ALL ROOF EDGE FLASHING SHOWN DASHED.
- 2 UNDER BASE BID, PREP FOR NEW ADHERED ROOFING. SEE ROOF LEGEND FOR EXTENTS.
- 3 UNDER BASE BID, REMOVE EXISTING SHINGLES AND PREP FOR NEW ASPHALT SHINGLES. SEE ROOF LEGEND FOR EXTENTS.

**DEMOLITION SALVAGE NOTES**

NOTES APPLY TO SHEETS A1-1 ONLY. \* OWNER HAS FIRST RIGHTS TO ALL SALVAGED MATERIAL.

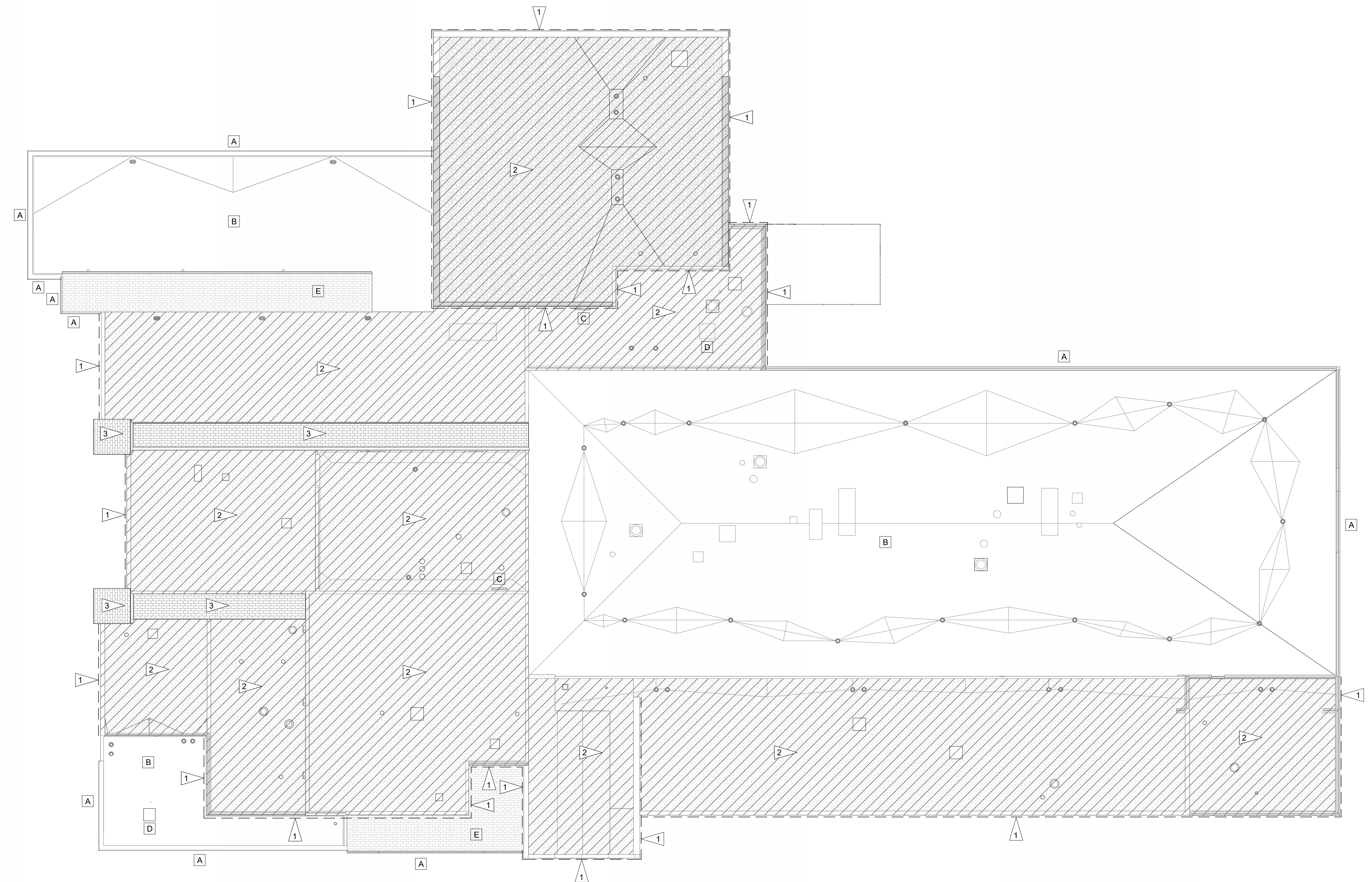
- A EXISTING ROOF EDGE FLASHING TO REMAIN.
- B PROTECT EXISTING EPDM ROOF MEMBRANE TO REMAIN.
- C EXISTING ROOF LADDER TO REMAIN.
- D EXISTING ROOF HATCH TO REMAIN.
- E PROTECT EXISTING SHINGLES, GUTTERS, AND DOWNSPOUTS TO REMAIN.

**DEMOLITION GENERAL NOTES**

- EXISTING ROOF DRAINS AND ROOF SLOPES ARE BASED ON OWNER PROVIDED DRAWINGS. FIELD VERIFY ALL EXISTING ROOF DRAIN LOCATIONS, ROOF SLOPES, EQUIPMENT LOCATIONS AND ROOF PENETRATIONS.
- EXISTING ROOF AND OVERFLOW DRAINS TO REMAIN.
- ALL ROOFTOP MECHANICAL EQUIPMENT TO REMAIN.
- ROOF EDGE FLASHING TO REMAIN UNLESS SPECIFICALLY SHOWN TO BE REMOVED BY FLAG NOTES ON THIS SHEET.

**DEMOLITION ROOF PLAN LEGEND:**

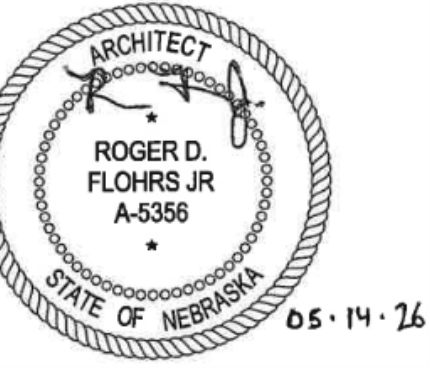
- EXISTING BALLASTED ROOF. PER BASE BID, SALVAGE ROCK BALLAST AND PREP EXISTING EPDM FOR NEW 60 MIL EPDM ROOFING. EXISTING ROCK BALLAST TO BE REINSTALLED.
- EXISTING ASPHALT ROOF SHINGLES TO REMAIN
- NEW ASPHALT ROOF SHINGLES. REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SUBSTRATE. REMOVE EXISTING FLASHING AND WOOD BLOCKING AS NEEDED. PROVIDE NEW ROOF SHINGLES, ICE AND WATER SHIELD AND PREFABRICATED METAL ROOF FASCIA.
- EXISTING EPDM ROOF TO REMAIN
- EXISTING EPDM ROOF. PER BASE BID, REMOVE ROOF EDGE METAL FLASHING. EXISTING EPDM MEMBRANE AND INSULATION TO REMAIN. PROVIDE NEW ADHERED EPDM MEMBRANE OVER EXISTING MEMBRANE AND PROVIDE NEW PREFABRICATED METAL ROOF FASCIA.



**1 DEMOLITION PLAN - ROOF PLAN**  
1/16" = 1'-0" 0' 1' 16" 32'

**PROJECT TEAM**

**ARCHITECTURE + INTERIORS**  
BCDM ARCHITECTS  
1015 North 98th Street, Suite 300  
Omaha, NE 68114  
CA Number: CA-0271



Revision Schedule		
No.	Description	Date
1	Addendum No. 1	05/22/2026

### PLCS - TRUMBLE PARK ELEMENTARY - REROOF 2026

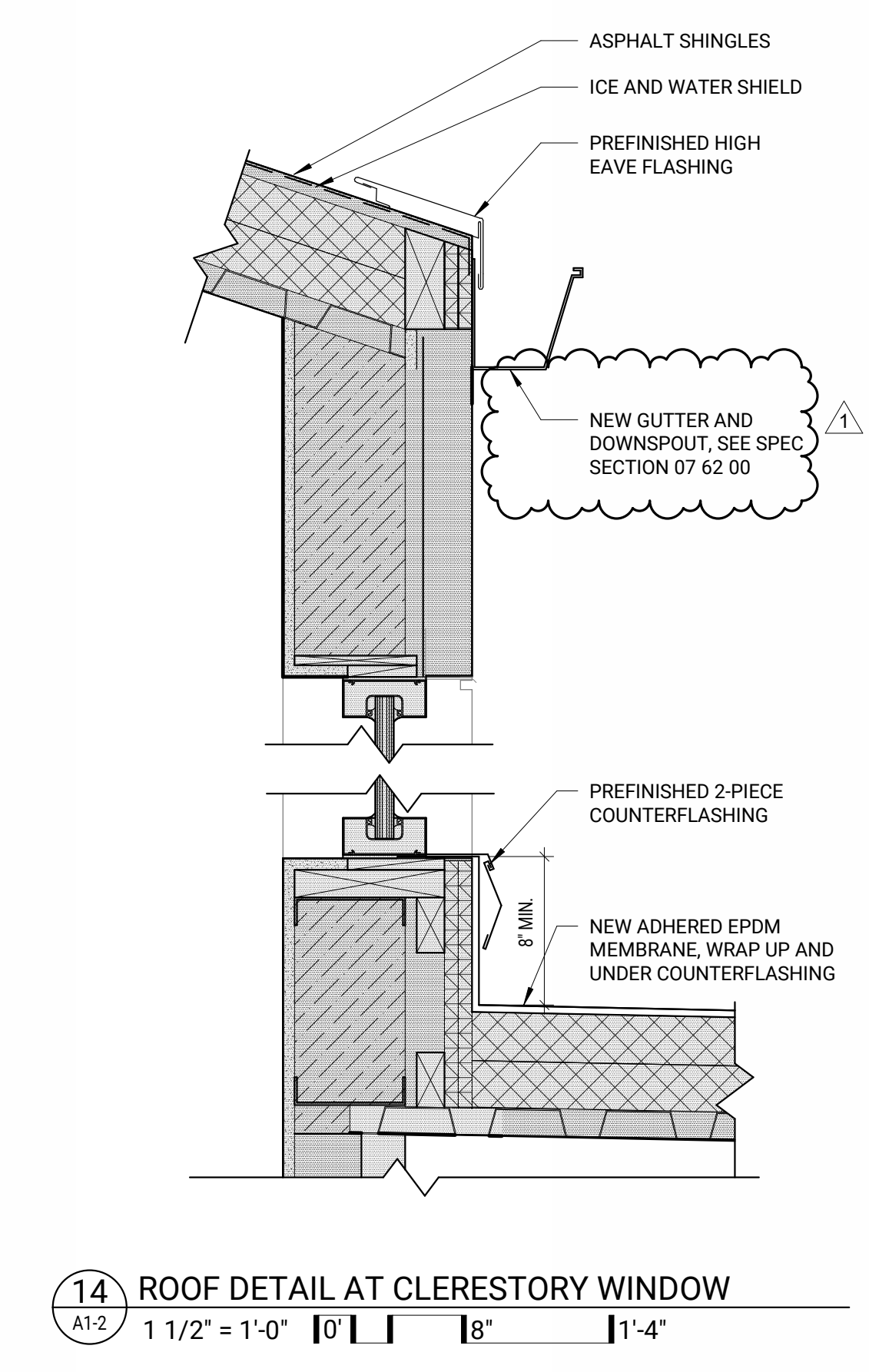
500 Valley Rd, Papillion, NE 68046

PAPILLION-LA VISTA COMMUNITY SCHOOLS

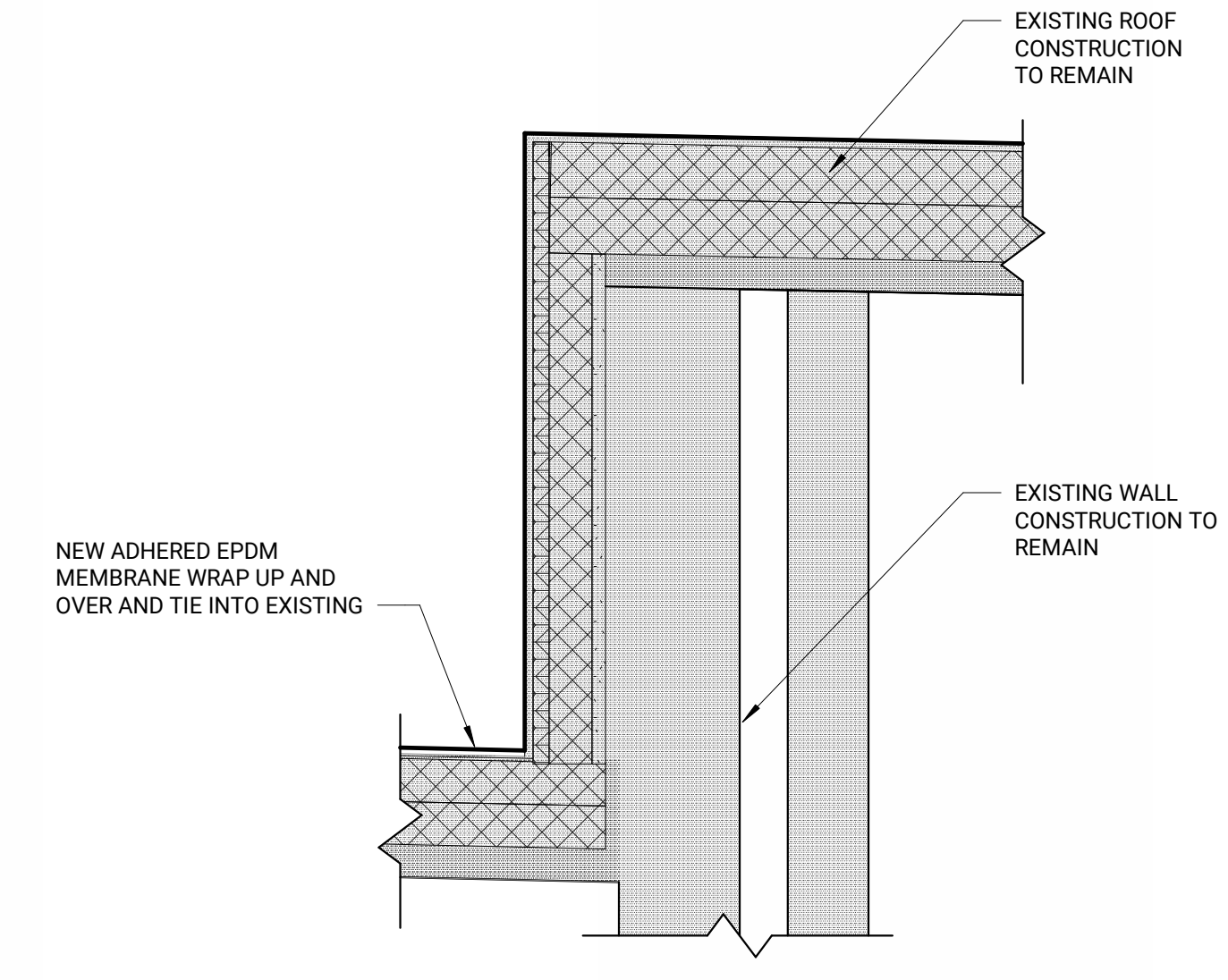
COVER SHEET / DEMOLITION ROOF PLAN

## A1-1

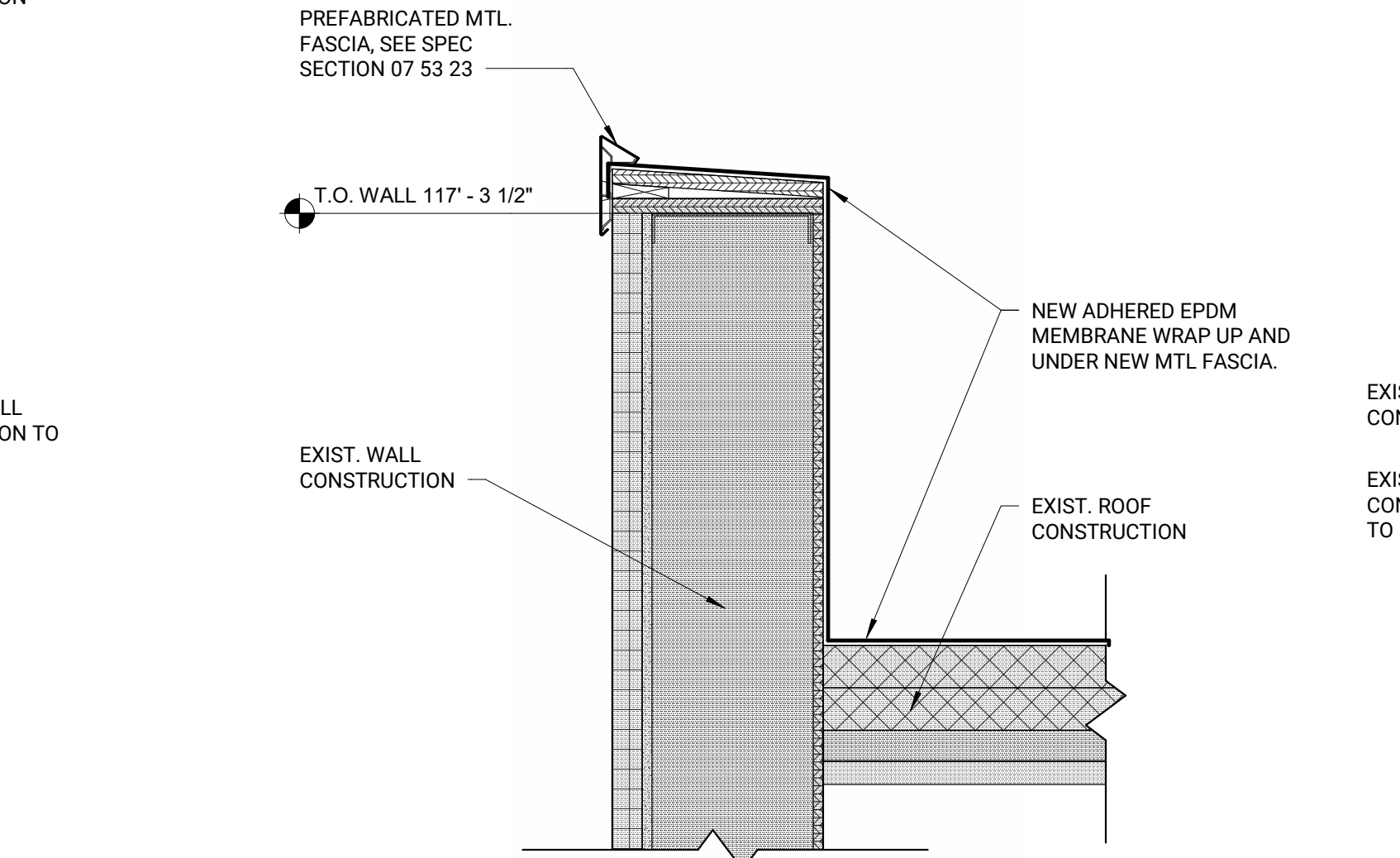
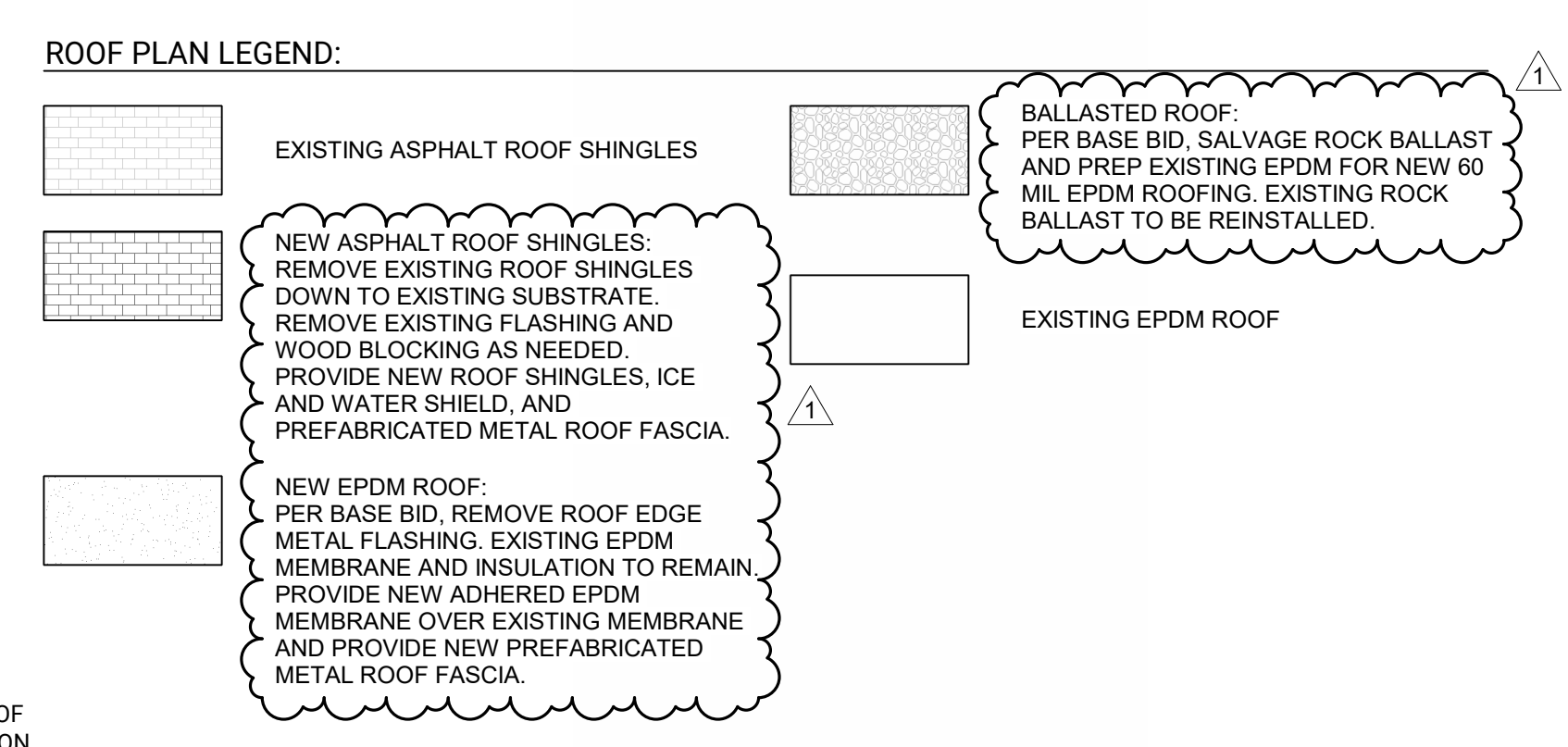
CONSTRUCTION DOCUMENTS  
BCDM NO. 3412-04  
MAY 14, 2026



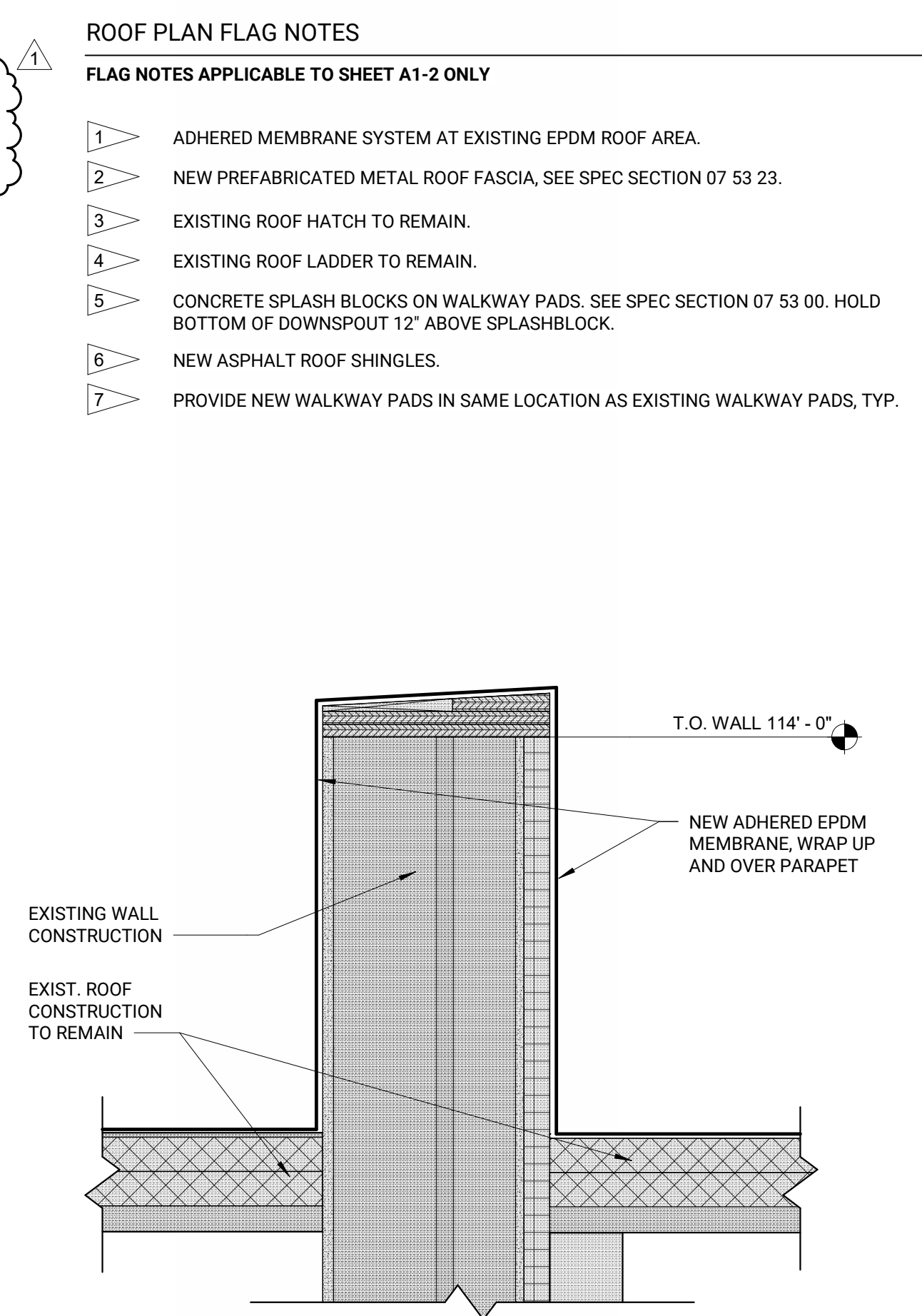
14 ROOF DETAIL AT CLERESTORY WINDOW  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



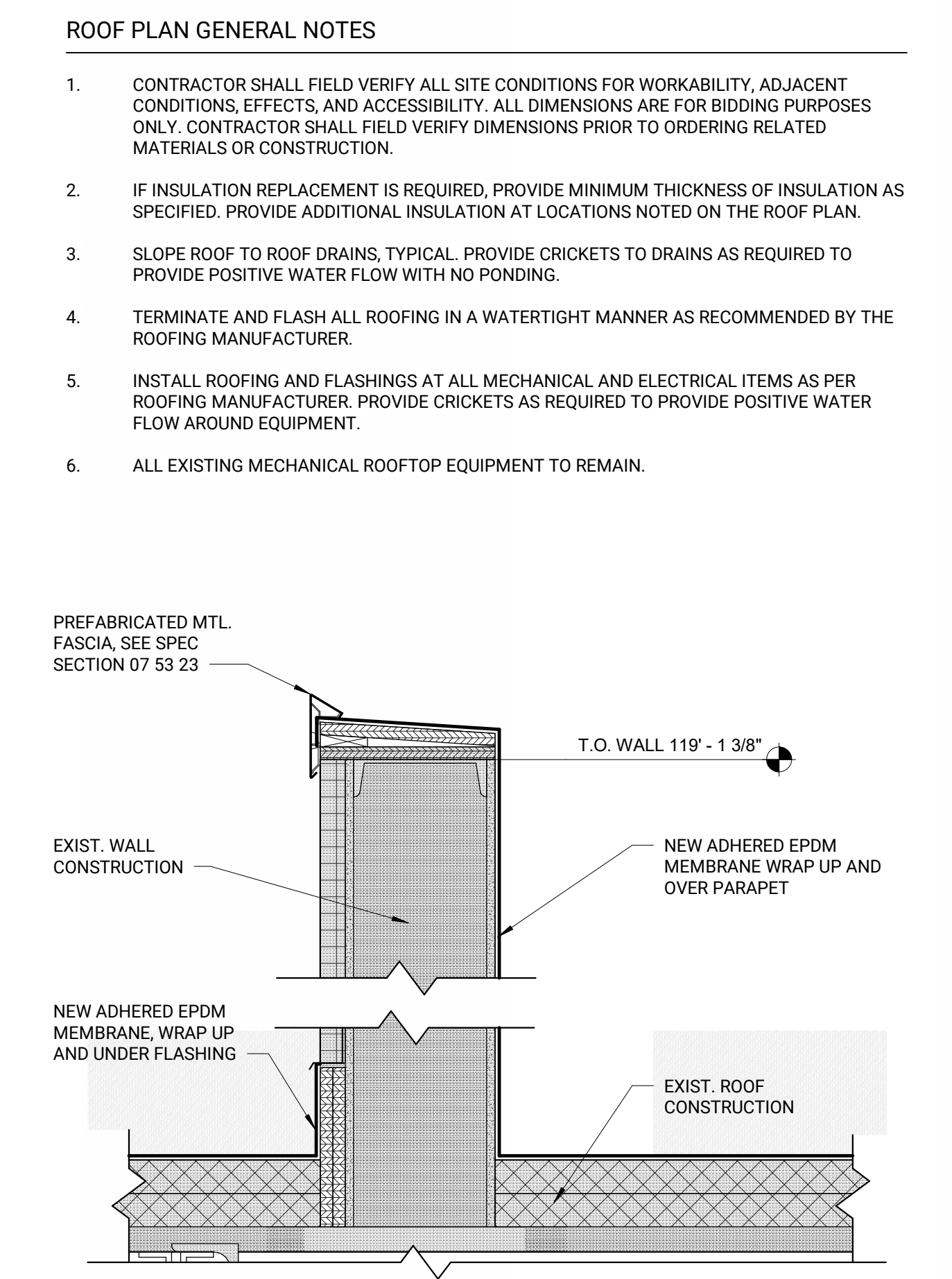
13 ROOF DETAIL AT BUILDING TRANSITION  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



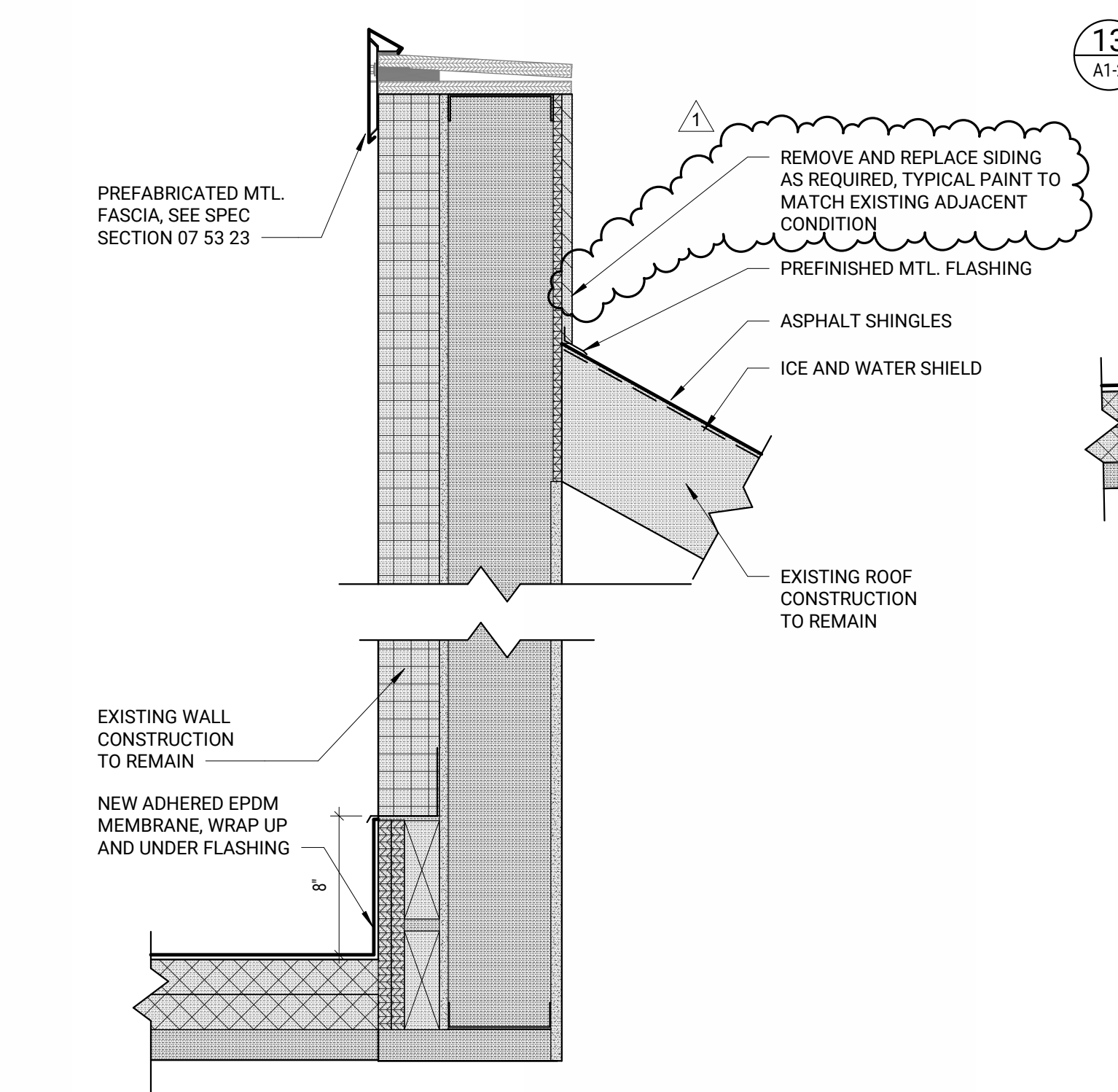
12 ROOF DETAIL AT EXIST ENTRY PARAPET  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



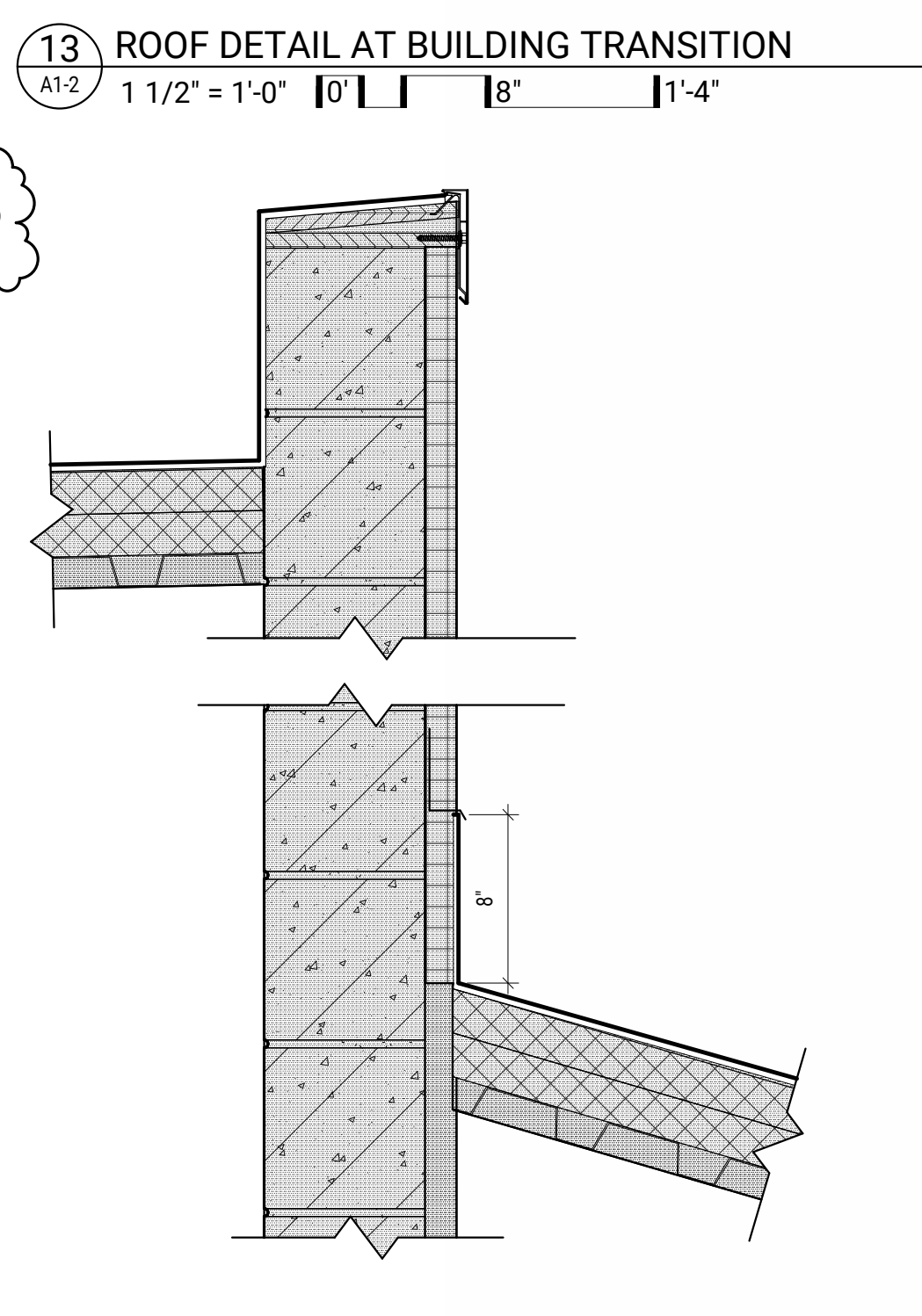
11 ROOF DETAIL AT EXIST. PARAPET.  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



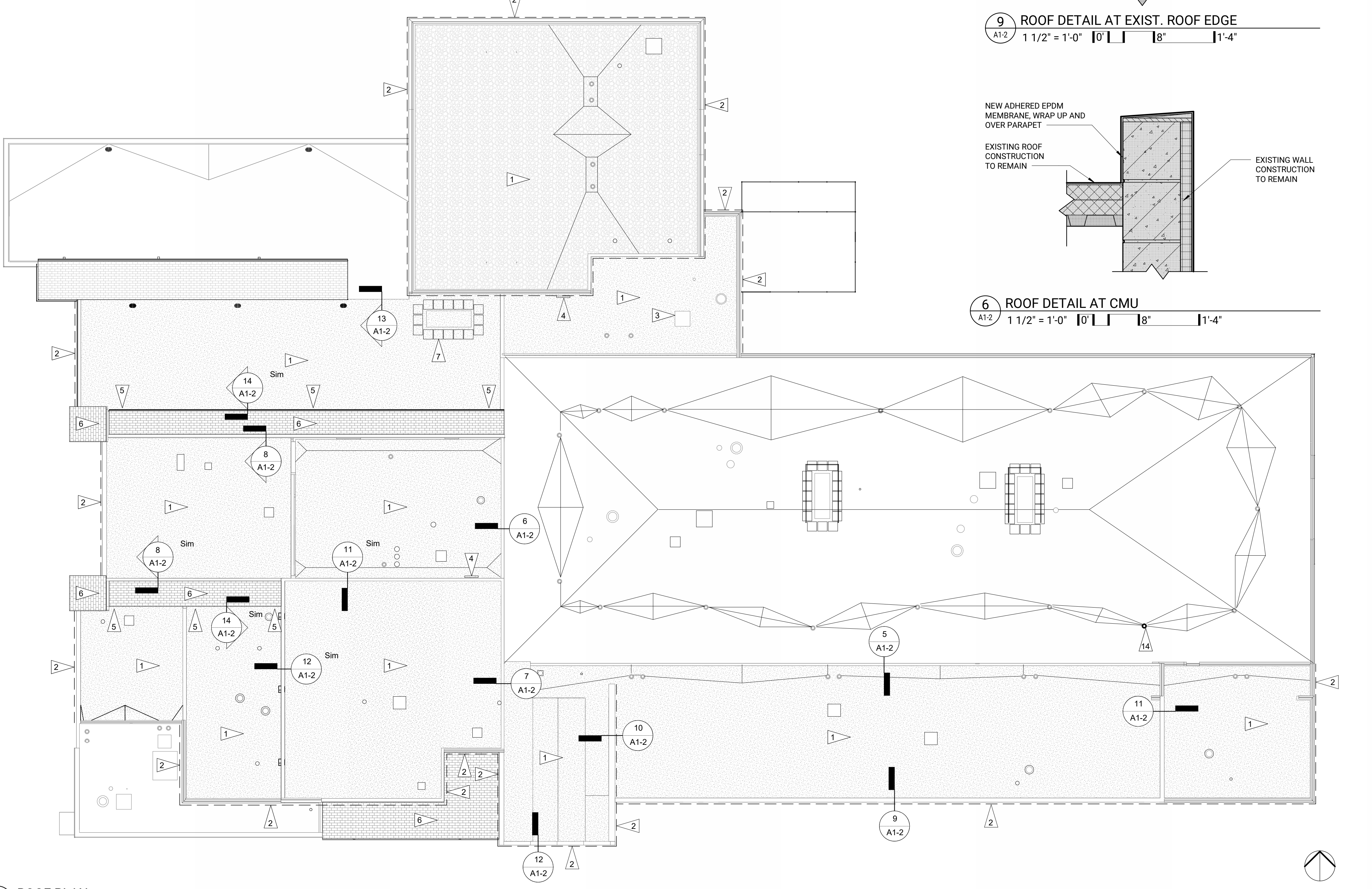
10 ROOF DETAIL AT EXIST WALL WITH EIFS AND EPDM  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



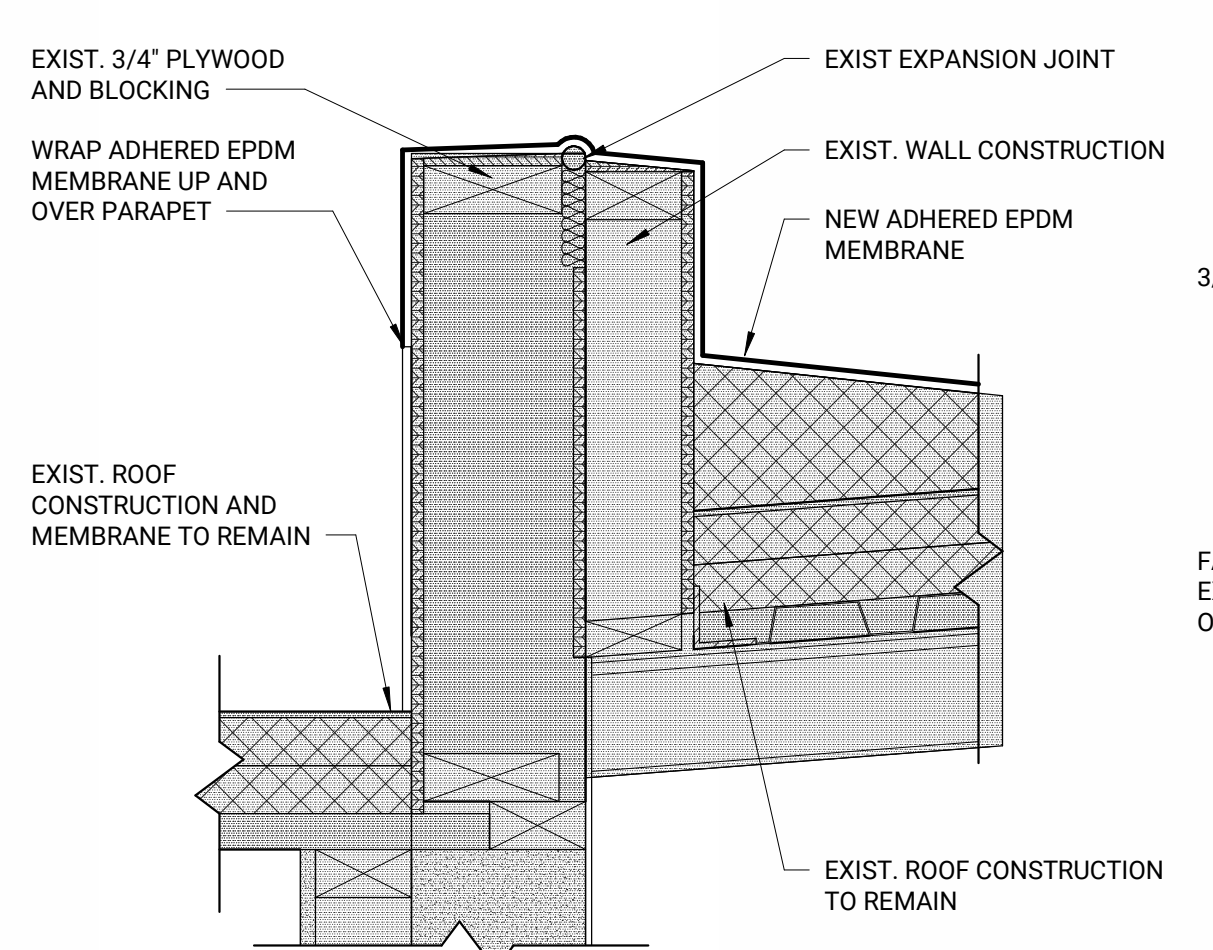
8 ROOF DETAIL AT SHINGLES PARAPET  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



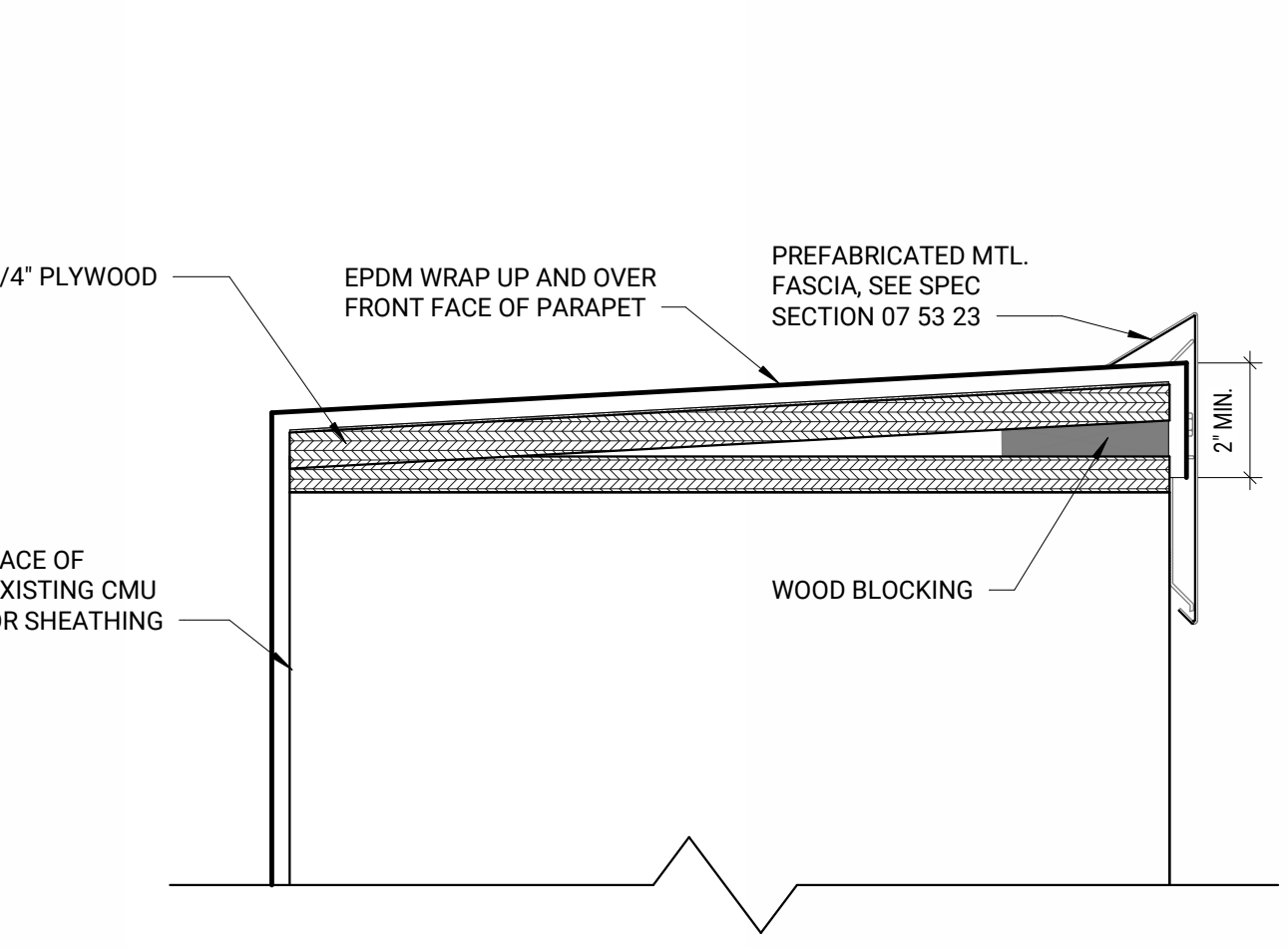
7 DETAIL SECTION AT ENTRY ROOF  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



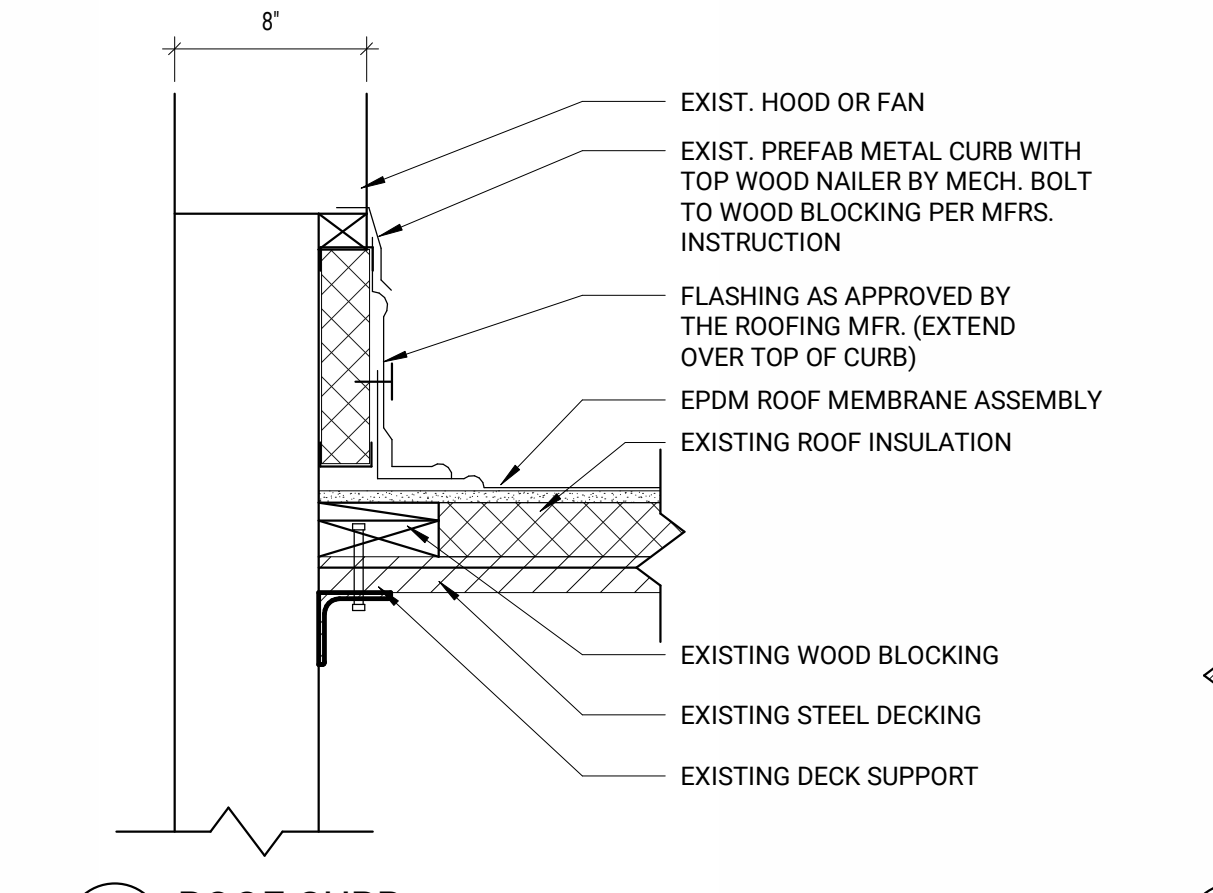
1 ROOF PLAN  
A1-2 1/16" = 1'-0" | 0' | 16" | 32"



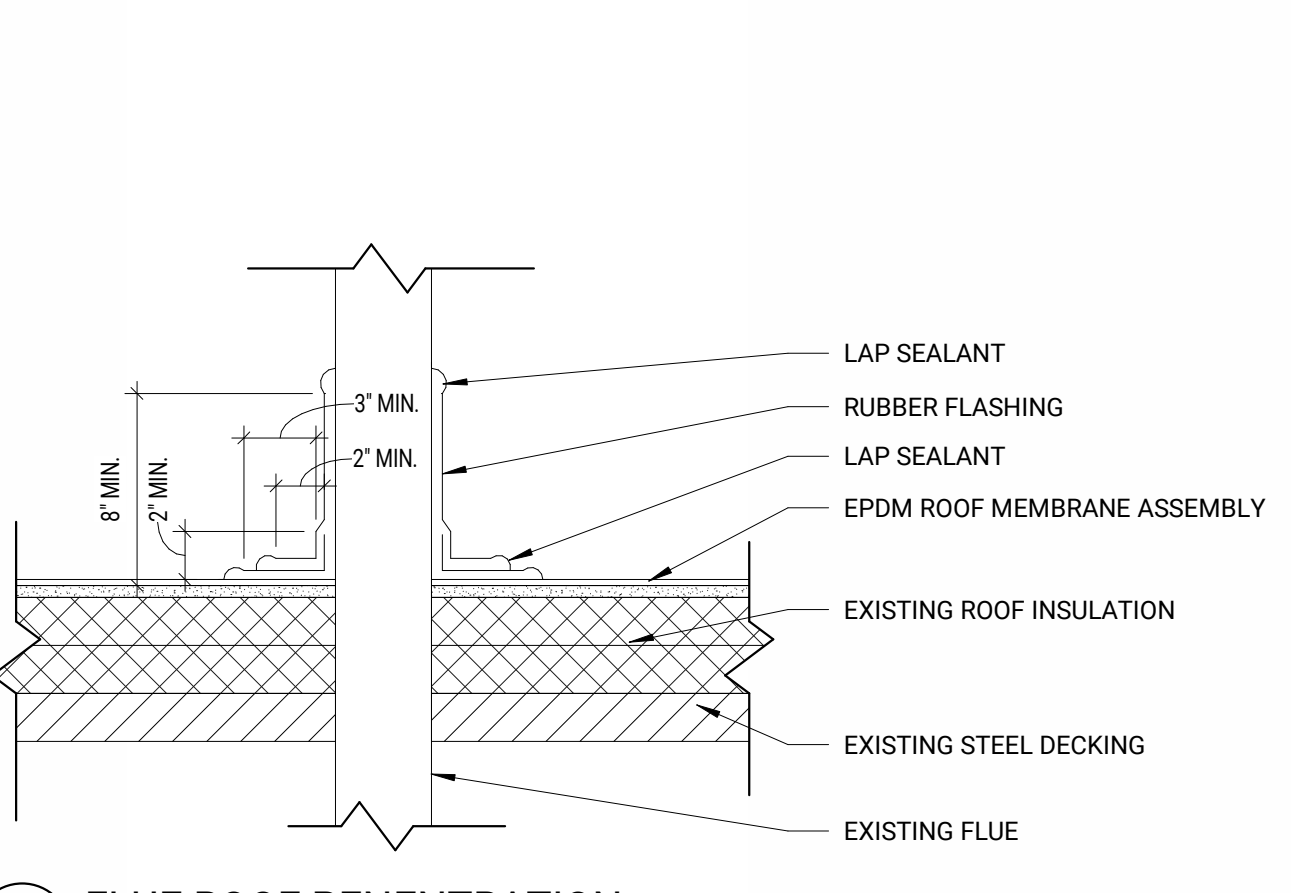
5 ROOF DETAIL AT EXIST PARAPET  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



4 TYP. ROOF EDGE DETAIL  
A1-2 3" = 1'-0" | 0' | 4" | 8"



3 ROOF CURB  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"



2 FLUE ROOF PENETRATION  
A1-2 1 1/2" = 1'-0" | 0' | 8" | 1'-4"

ROOF PLAN FLAG NOTES

- 1 ADHERED MEMBRANE SYSTEM AT EXISTING EPDM ROOF AREA.
2 NEW PREFABRICATED METAL ROOF FASCIA, SEE SPEC SECTION 07 53 23.
3 EXISTING ROOF HATCH TO REMAIN.
4 EXISTING ROOF LADDER TO REMAIN.
5 CONCRETE SPLASH BLOCKS ON WALKWAY PADS. SEE SPEC SECTION 07 53 00. HOLD BOTTOM OF DOWNSPOUT 12" ABOVE SPLASHBLOCK.
6 NEW ASPHALT ROOF SHINGLES.
7 PROVIDE NEW WALKWAY PADS IN SAME LOCATION AS EXISTING WALKWAY PADS, TYP.

ROOF PLAN GENERAL NOTES

- 1 CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS FOR WORKABILITY, ADJACENT CONDITIONS, EFFECTS, AND ACCESSIBILITY. ALL DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY DIMENSIONS PRIOR TO ORDERING RELATED MATERIALS OR CONSTRUCTION.
2 IF INSULATION REPLACEMENT IS REQUIRED, PROVIDE MINIMUM THICKNESS OF INSULATION AS SPECIFIED. PROVIDE ADDITIONAL INSULATION AT LOCATIONS NOTED ON THE ROOF PLAN.
3 SLOPE ROOF TO ROOF DRAINS, TYPICAL. PROVIDE CRICKETS TO DRAINS AS REQUIRED TO PROVIDE POSITIVE WATER FLOW WITH NO PONDING.
4 TERMINATE AND FLASH ALL ROOFING IN A WATER TIGHT MANNER AS RECOMMENDED BY THE ROOFING MANUFACTURER.
5 INSTALL ROOFING AND FLASHINGS AT ALL MECHANICAL AND ELECTRICAL ITEMS AS PER ROOFING MANUFACTURER. PROVIDE CRICKETS AS REQUIRED TO PROVIDE POSITIVE WATER FLOW AROUND EQUIPMENT.
6 ALL EXISTING MECHANICAL ROOFTOP EQUIPMENT TO REMAIN.

Table with 3 columns: #, Description, Date. Row 1: 1, Addendum No.1, 05/22/2026.